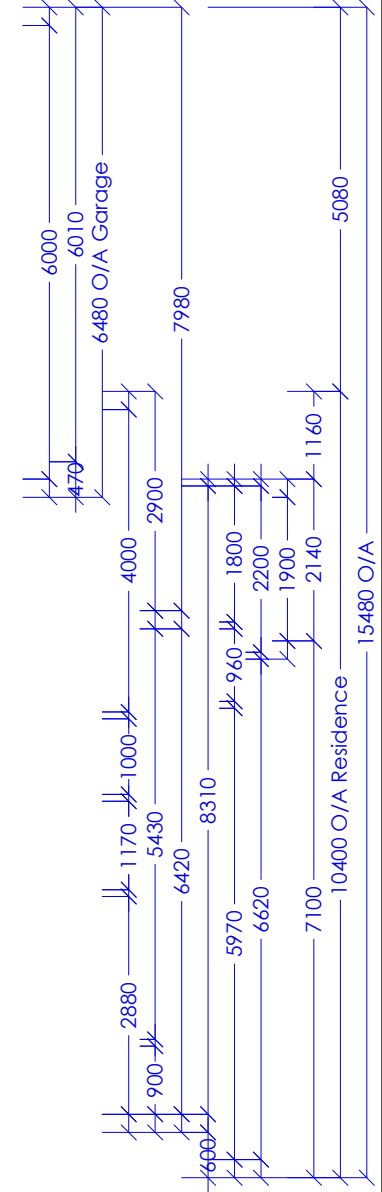
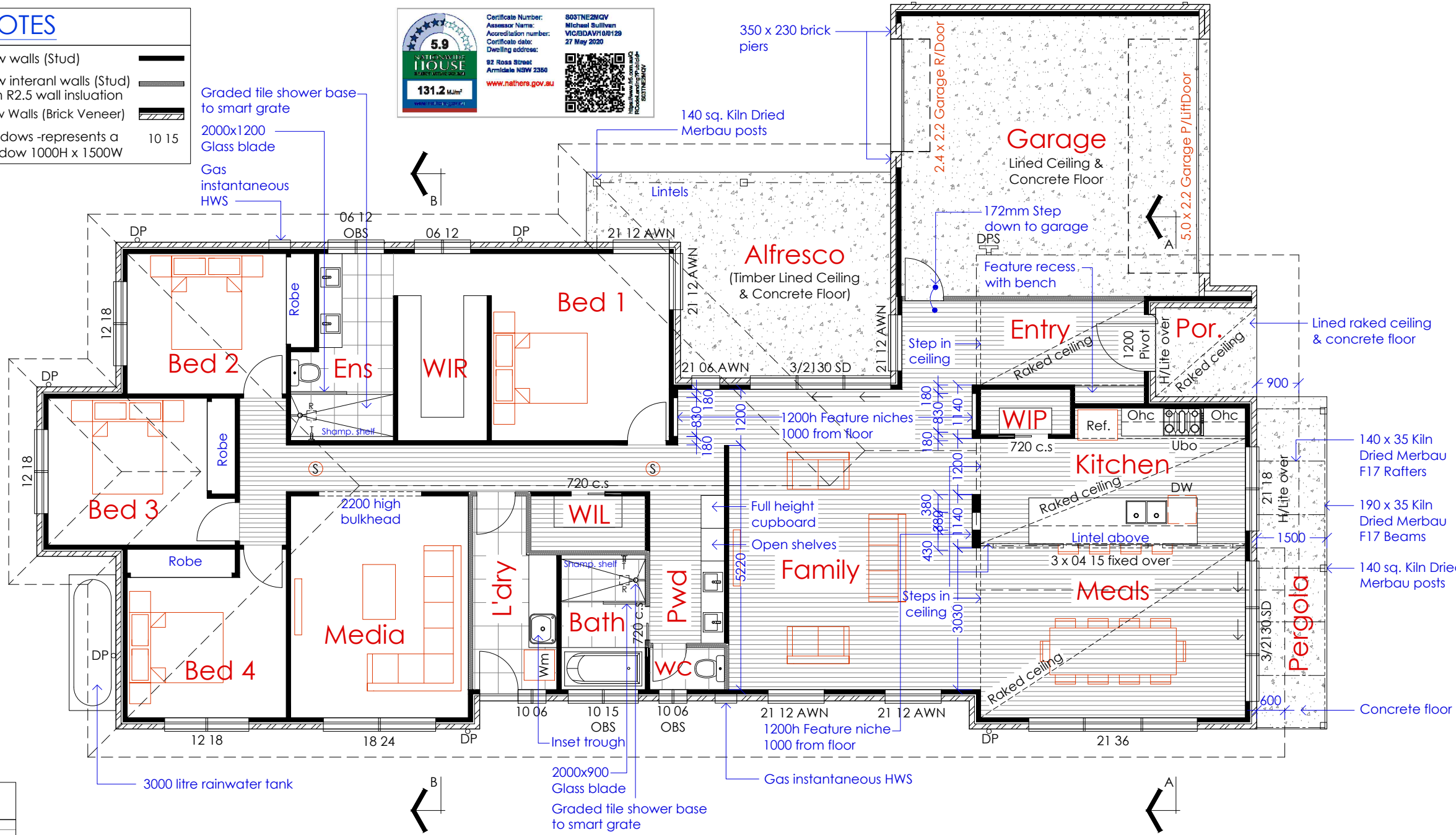


Living Area	226.57m ²	24.39 SQ'S
Alfresco Area	22.77m ²	2.45 SQ'S
SUB-TOTAL AREA	249.34m²	26.84 SQ'S
Garage Area	42.84m ²	4.61 SQ'S
Portico Area	4.57m ²	0.49 SQ'S
Pergola Area	10.31m ²	1.11 SQ'S
TOTAL FLOOR AREA	307.06m²	33.05 SQ'S

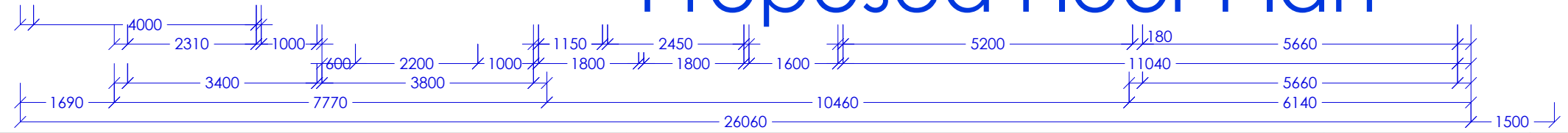
- NOTES**
- New walls (Stud)
 - New internal walls (Stud) with R2.5 wall insulation
 - New Walls (Brick Veneer)
 - Windows - represents a window 1000H x 1500W

Certificate Number: S03TNE2MGV
 Assessor Name: Michael Sullivan
 Accreditation number: VIC0304V1/00129
 Certificate date: 27 May 2020
 Dwelling address: 92 Ross Street, Armidale NSW 2350
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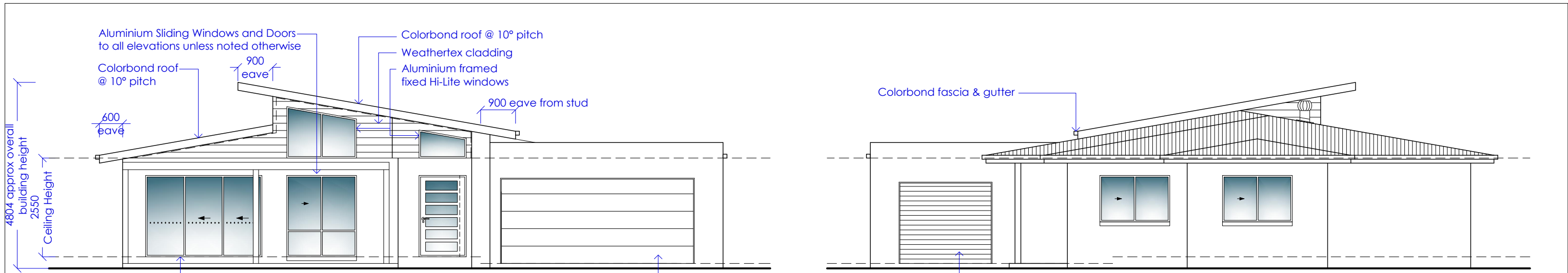


- NOTES**
- Floor Tiles
 - Carpet
 - Plain Concrete
 - Timber Floor Internal - Vinyl Plank

Proposed Floor Plan

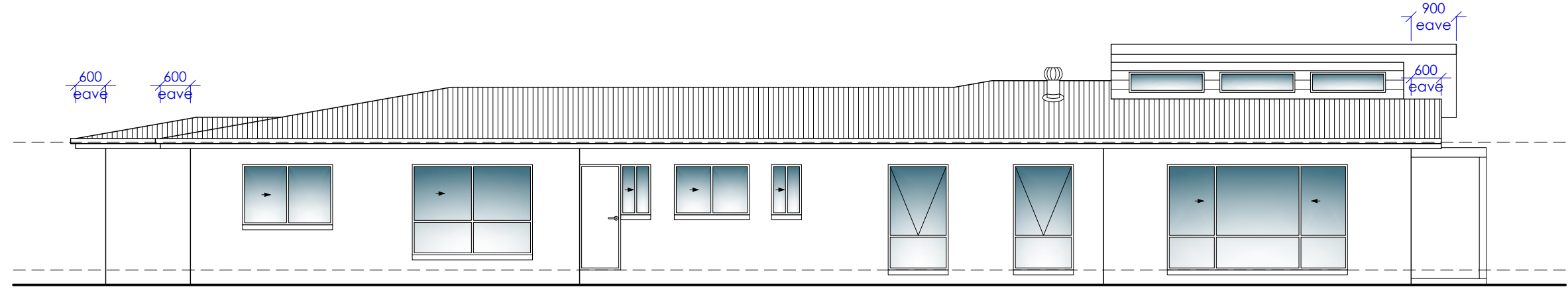


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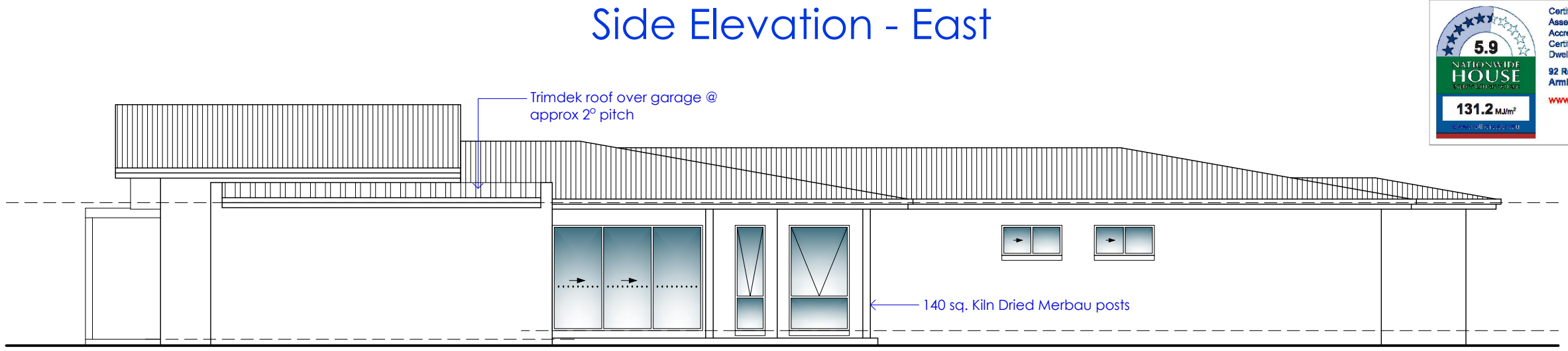


Front Elevation - North

Rear Elevation - South



Side Elevation - East



Side Elevation - West

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 Assessor Name: Michael Sullivan
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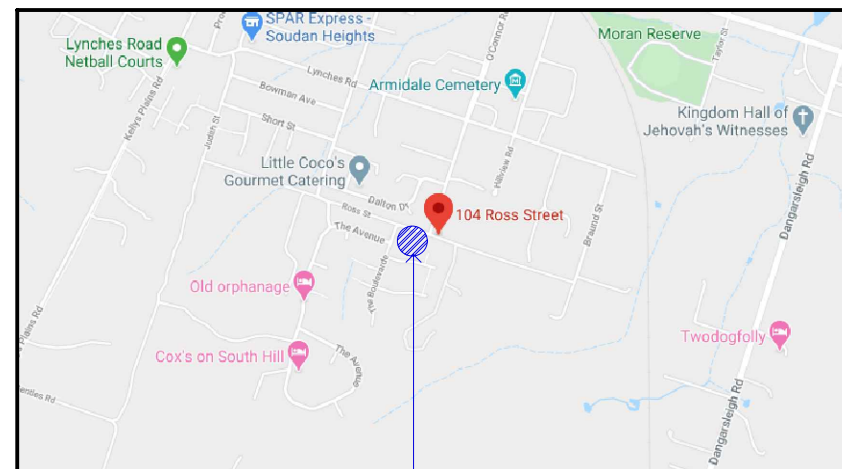
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				<p>For Construction</p>	<p>DATE April 2020</p>	<p>DRAWING TITLE Elevations</p>		
					<p>DESIGNED Client</p>	<p>JOB NO. 20785</p>		

NOTE:

-Builder to implement measures to minimise mud, crushed rock or other debris being carried onto public roads and footpaths from site.
Also measures taken to retain all silt and soil on site during construction phase.
Builder to maintain neat & tidy site during construction phase.

Builder to install 90Ø UPVC Downpipes .

The person responsible for installing the tank system shall extend the stormwater system to the tanks via 100Ø PVC pipes. Install an overflow system to ensure water will not pond near tanks or buildings. Discharge into legal point of discharge nominated by council.



Location of Works

Locality Plan

BASIX Certificate number: 1101172S_02

Summary of BASIX Commitments

This information is a summary of the BASIX commitments for this project. Refer to the certificate for full details.

SHIRE - ARMIDALE REGIONAL COUNCIL

Landscaping

Total area of garden & lawn (m ²)	450m ²
Area of indigenous plantings (m ²)	250m ²

Water

Rainwater tank capacity (litres)	3000
Area of roof that needs to be connected to tank(m ²)	220m ²
Connect tank to at least one garden tap	Yes
Connect tank to all toilets	Yes
Connect tank to cold water tap of washing machine	No
Rating of all shower heads installed	3 Star (>6 but <7.5L/min)
Rating of all toilet cisterns installed	4 Star
Bathroom tap fittings	4 Star
Kitchen tap fittings	4 Star

Thermal Performance

Refer to Thermal Performance commitments for full details

Roof colour	Medium
External Wall colour	N/A

Energy

Active cooling to living areas	Reverse Cycle A/C - 3.0-3.5 EER
Active cooling to bedroom areas	Reverse Cycle A/C - 3.0-3.5 EER
Active heating to living areas	Reverse Cycle A/C - 3.0-3.5 EER
Active heating to bedroom areas	Reverse Cycle A/C - 3.0-3.5 EER
Hot water system	Gas Instantaneous - 6.0 Star
Bath Exhaust System	Individual Fan, not ducted manual switch off/on
Kitchen Exhaust System	Individual Fan, ducted to facade or roof, manual switch off/on
Ldry Exhaust System	Natural ventilation only
Cooking (hotplates/oven)	gas cooktop & electric oven
Clothesline	External position to be confirmed
Ventilated Fridge Space	No

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Contractor.

REGISTRATION NUMBERS
VIC CDP-AD56576

CLIENT
Rossbuild Constructions

PROJECT
No. 92 Ross St,
Armidale, NSW 2350

Issue Date
Version 5 - 25/05/2020
Drawing Status

For Construction



CHECKED
B. Mactier

DATE
April 2020

DRAWN
M. Santos

DESIGNED
Client

SCALE
1: 200 @ A3 Sheet

DRAWING TITLE
Site Plan

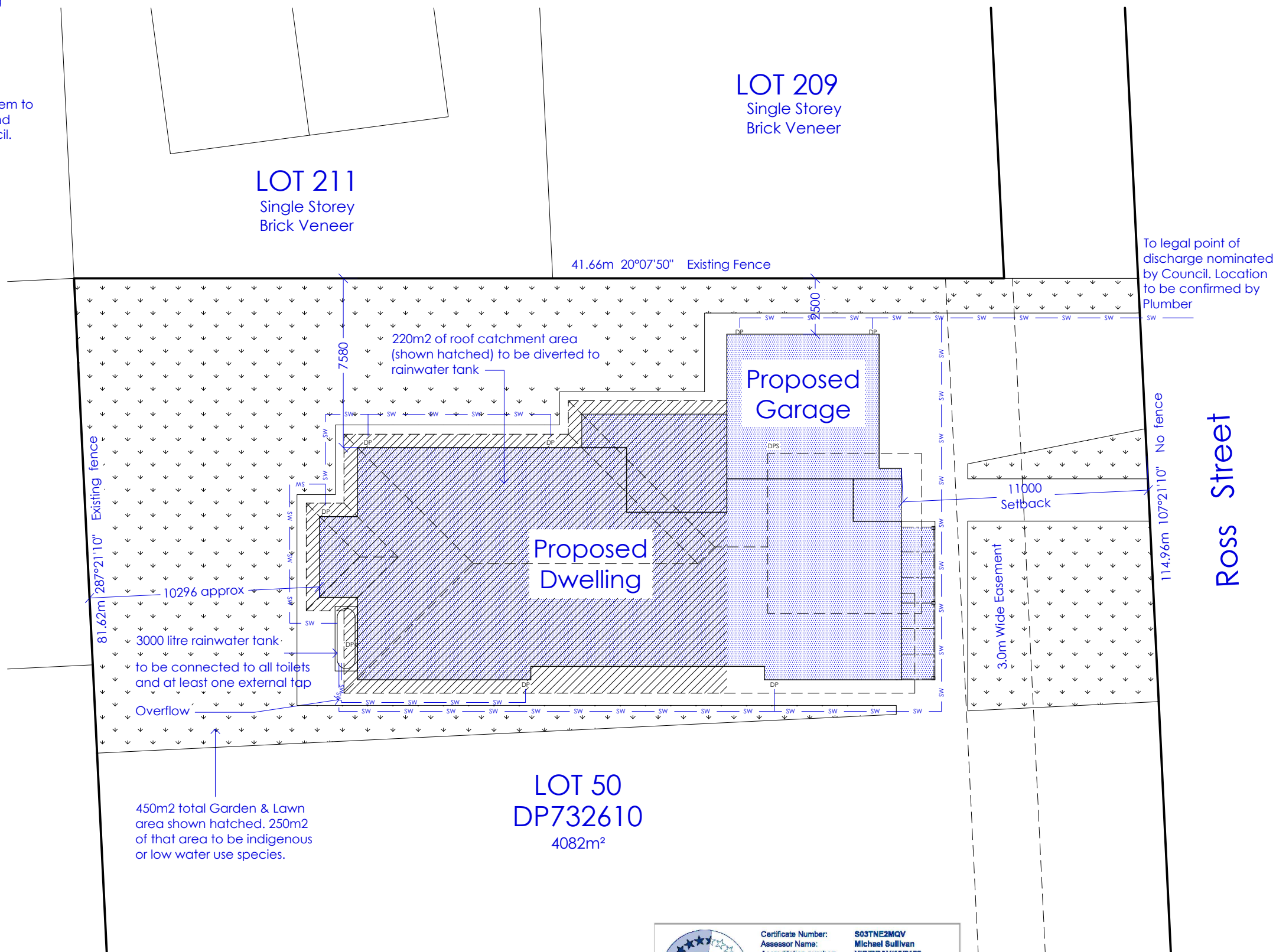
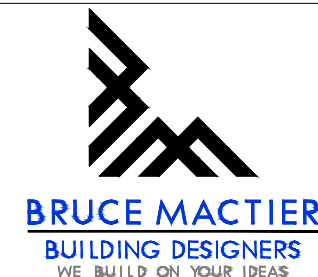
SHEET NO.
A3 of 12

JOB NO.
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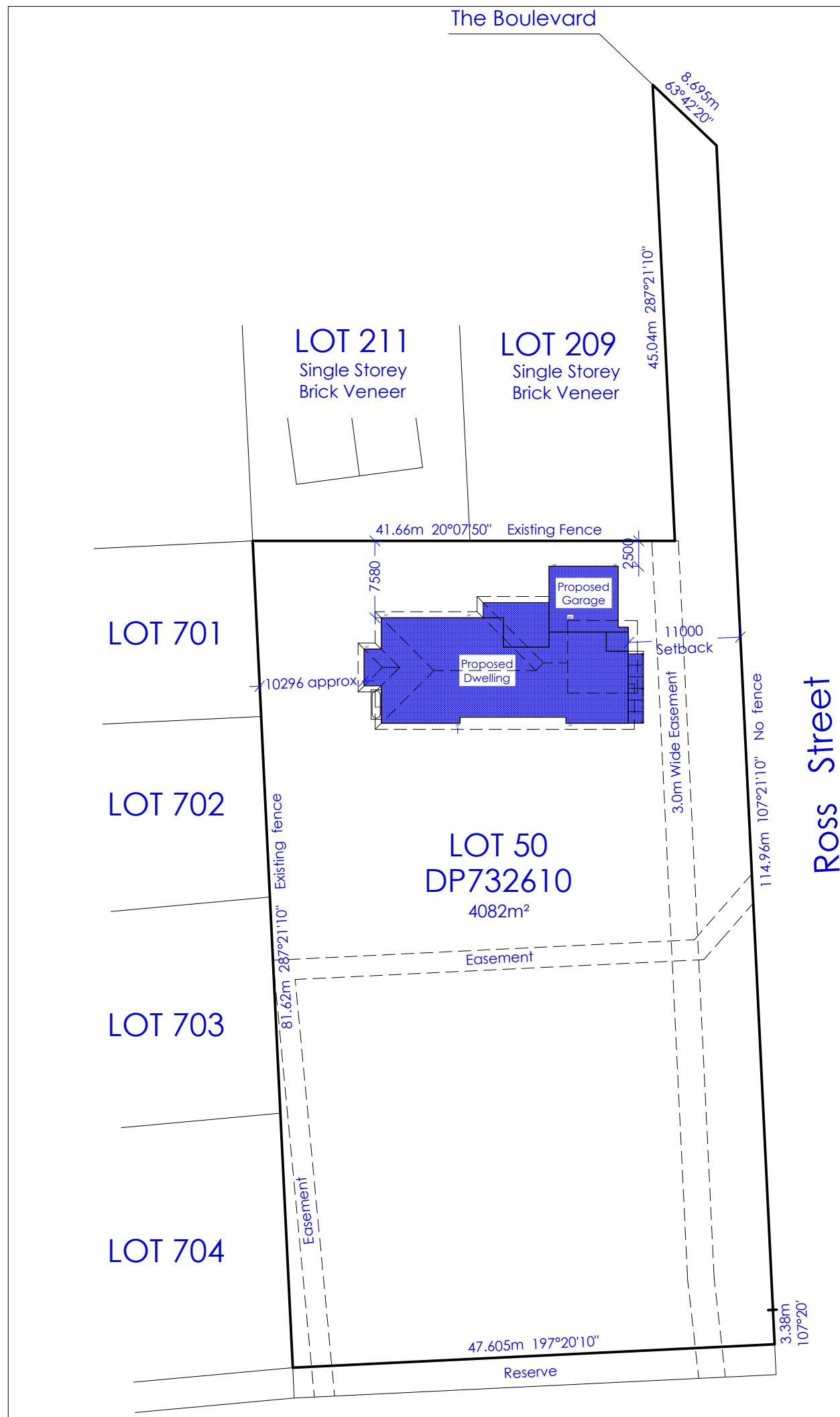
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Site Plan

131.2 MJ/m²

Certificate Number: S03TNE2MQV
Assessor Name: Michael Sullivan
Accreditation number: VIC/BDAY/100129
Certificate date: 27 May 2020
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Block Plan

Issue Date
Version 5 - 25/05/2020
Drawing Status

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CLIENT
Rosbuild Constructions

PROJECT
No. 92 Ross St,
Armidale, NSW 2350

DATE
April 2020

DRAWN
M. Santos

DESIGN
Client

CHECKED
B. Mactier

SCALE
1:500 @ A3 Sheet
Print in Colour

REGISTRATION NUMBERS
VIC CDP-AD 56576

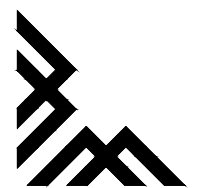
DRAWING TITLE
Block Plan

SHEET NUMBER
A4 of 12

JOB NUMBER
20785



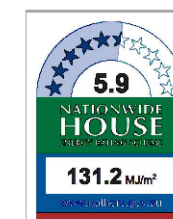
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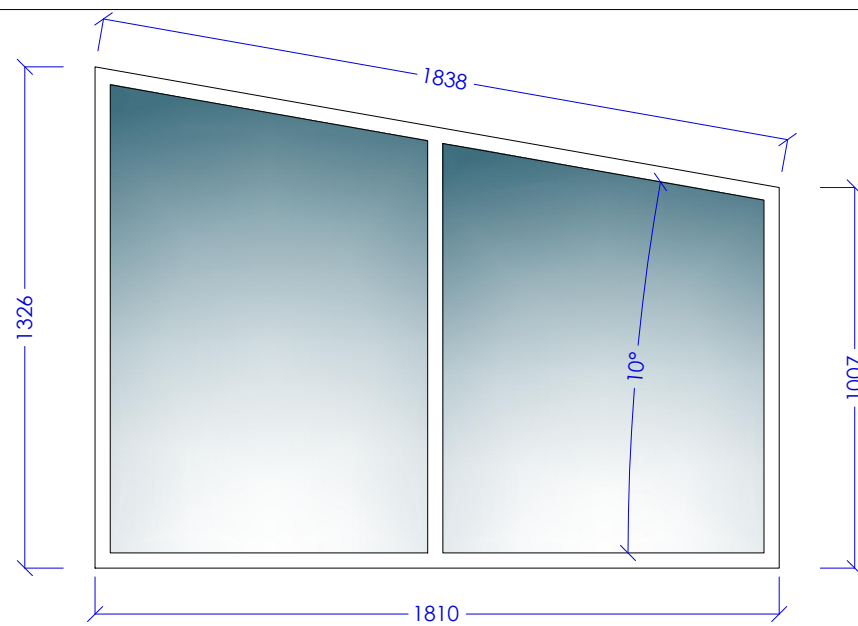
(03) 58 221 255
admin@brucemactier.com
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Certificate Number:
Assessor Name:
Accreditation number:
Certificate date:
Dwelling address:
92 Ross Street
Armidale NSW 2350
www.nathers.gov.au



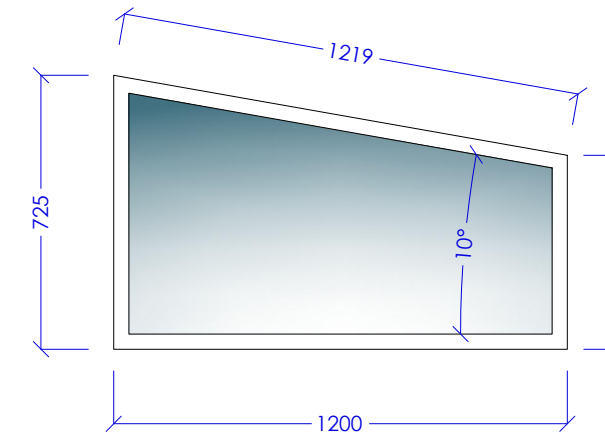
S03TNE2MQV
Michael Sullivan
VIC/BDV/10/0129
27 May 2020
https://www.nbs.com.au/0
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S03TNE2MQV



Meals Hi-Lite Window

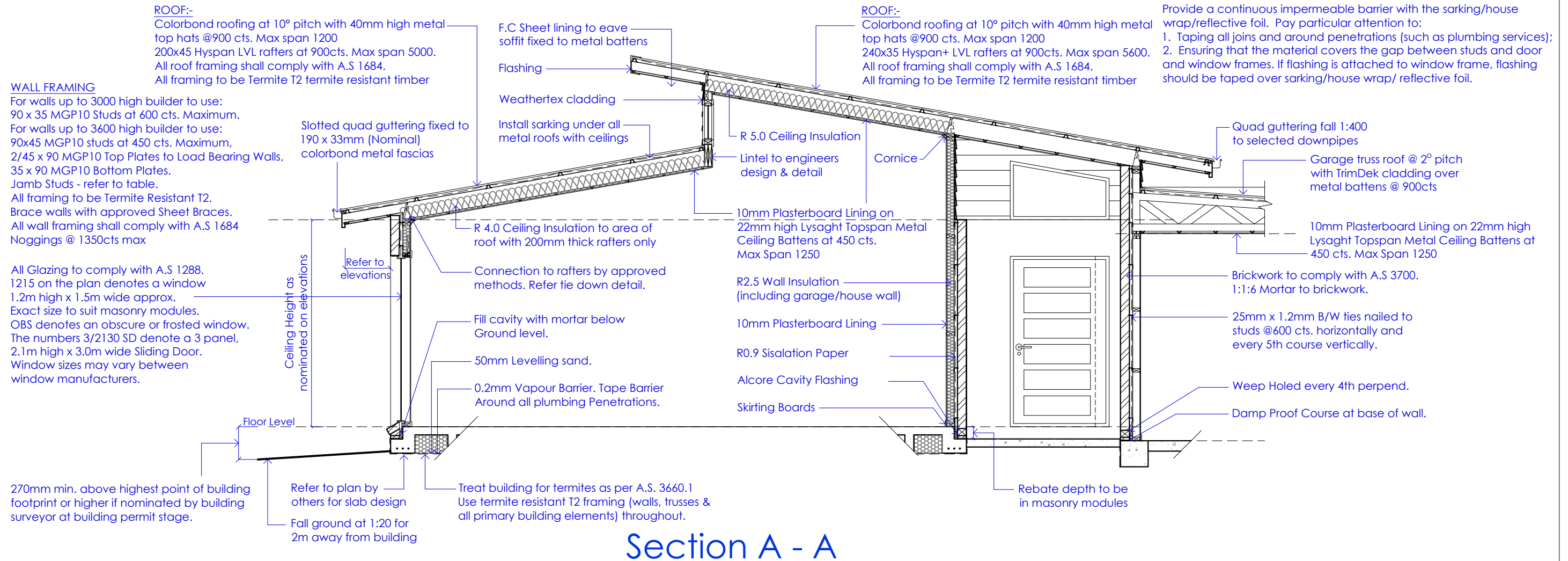
SCALE 1: 20

 5.9 NATIONAL HOUSE ACCREDITED 131.2 MJ/m²	Certificate Number: S03TNE2MQV	Assessor Name: Michael Sullivan
	Accreditation number: VIC/BD/AV/10/0129	Certificate date: 27 May 2020
Dwelling address: 92 Ross Street Armidale NSW 2350		
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Entry Hi-Lite Window

SCALE 1: 20



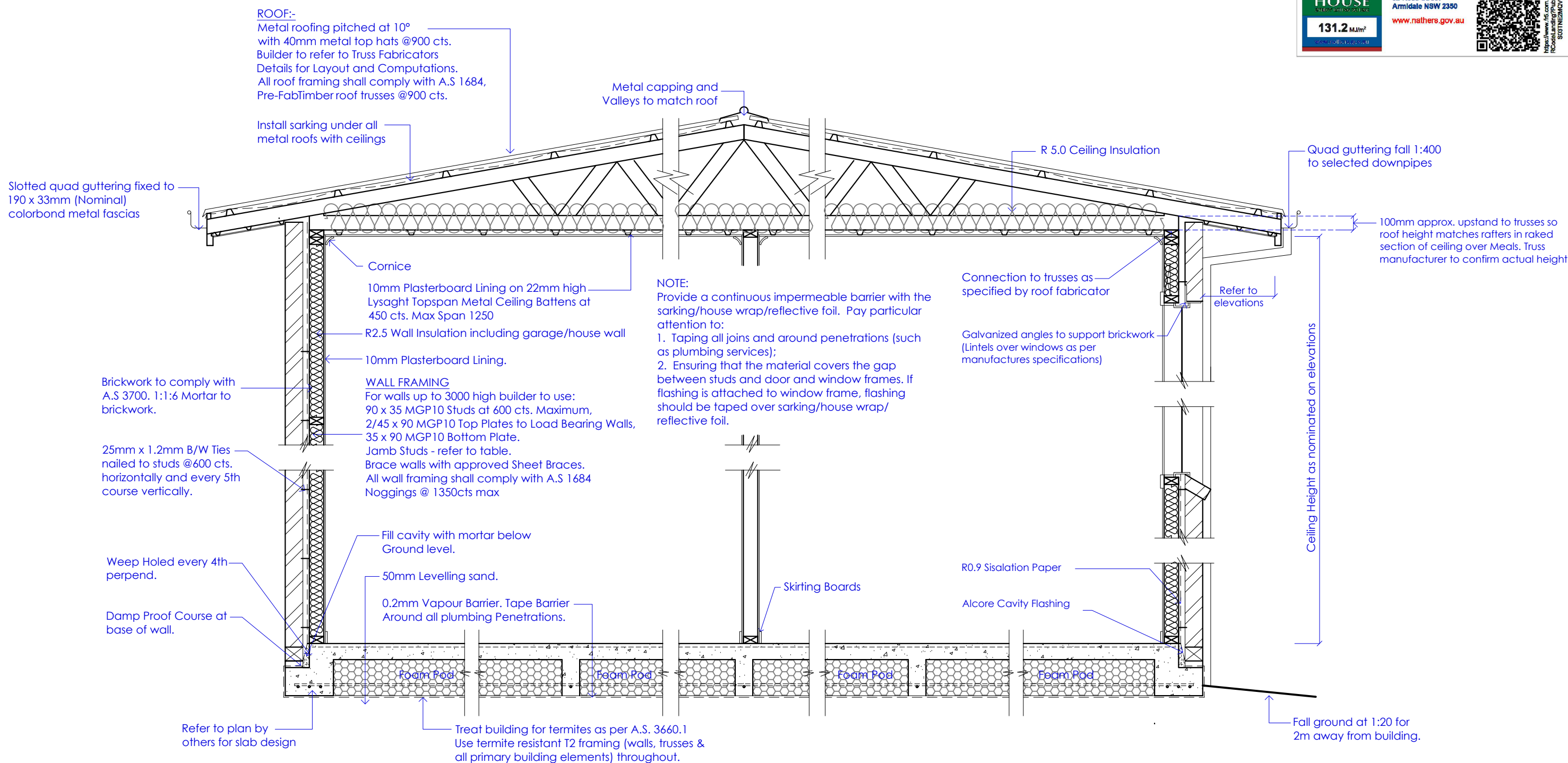
NOTE:
 Provide a continuous impermeable barrier with the sarking/house wrap/reflective foil. Pay particular attention to:
 1. Taping all joins and around penetrations (such as plumbing services);
 2. Ensuring that the material covers the gap between studs and door and window frames. If flashing is attached to window frame, flashing should be taped over sarking/house wrap/ reflective foil.

Section A - A

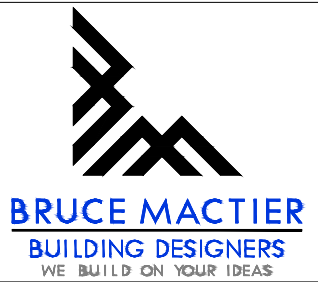
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		PROJECT No. 92 Ross St, Armidale, NSW 2350	For Construction	DATE April 2020	DRAWING TITLE Section A - A			
				DRAWN M. Santos	SHEET NO. A5 of 12			
				DESIGNED Client	JOB NO. 20785			

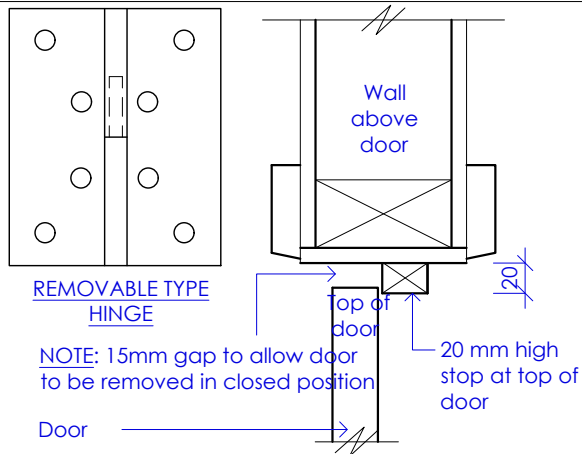
Certificate Number: S03TNE2MQV
 Assessor Name: Michael Sullivan
 Accreditation number: VIC/BDV/10/0129
 Certificate date: 27 May 2020
 Dwelling address: 92 Ross Street Armidale NSW 2350
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5.9
 NATIONWIDE HOUSE
 131.2 MJ/m²

Section B - B

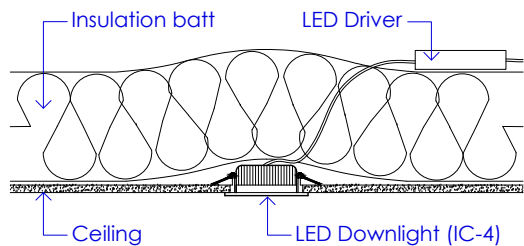
<p>GENERAL</p> <p>All dimensions, site and soil conditions to be verified on site, by builder, prior to ordering or placing any materials.</p> <p>All work shall conform to the National Construction Code of Australia. Do Not scale drawings. This drawing is Copyright.</p>	<p>These plans form part of,</p> <p>Contract No.</p> <p>Dated.</p> <p>Proprietor.</p> <p>Contractor.</p>	<p>REGISTRATION NUMBERS</p> <p>VIC CDP-AD56576</p>	<p>CLIENT</p> <p>Rosbuild Constructions</p> <p>PROJECT</p> <p>No. 92 Ross St, Armidale, NSW 2350</p>	<p>Issue Date</p> <p>Version 5 - 25/05/2020</p> <p>Drawing Status</p>	<p>CHECKED</p> <p>B. Mactier</p>	<p>SCALE</p> <p>1: 25 @ A3 Sheet</p>	<p>Bruce Mactier & Ass's P/L trading as</p> <p>Level 2, 4 Welsford Street, Shepparton, Victoria 3630</p> <p>11-13 Sydney Street, Kilmore Victoria 3764</p> <p>(03) 5822 1255</p> <p>admin@brucemactier.com</p> <p>www.brucemactier.com.au</p>	 <p>BRUCE MACTIER BUILDING DESIGNERS WE BUILD ON YOUR IDEAS</p>
				<p>For Construction</p>	<p>DATE</p> <p>April 2020</p>	<p>DRAWING TITLE</p> <p>Section B - B</p>		
				<p>DRAWN</p> <p>M. Santos</p>	<p>SHEET NO.</p> <p>A6 of 12</p>			
				<p>DESIGNED</p> <p>Client</p>	<p>JOB NO.</p> <p>20785</p>			



Removable Hinge Detail For WC

Applicable for all toilets - with a door swing within 1200 of edge of pan. IE In toilet cubicles only

Building insulation abutting or is within 100mm horizontally of the luminaire must meet the following requirements : Be of a type that can maintain its dimensions and structural integrity when exposed to a maximum surface temperature of the class of the luminaire, being 90°C; Be of a type that can withstand a 30 second needle flame test carried out in accordance with AS/NZS 60695.11.5 with a flame applied to all surfaces of the sample. Insulation types which should be used with this fitting are glass wool (Pink Batts) & polyester.
IMPORTANT NOTE : Builder must NOT install loose fill insulation, such as wool or macerated paper.
 Fixture Driver or Control Gear must be mounted above any insulation covering the fixture.



Insulation over LED Non Load bearing B/work

SPAN UP TO 950mm	SIZE Width x Height 89W x 10 D FLAT	MIN END BEARINGS 150mm
950 TO 1200	89W x 76Dx 10L	200mm
1200 TO 1650	89W x 102D x 10L	230mm
1650 TO 2400	89W x 127Dx 10L	230mm
2400 TO 3000	89W x 152D x 10L	230mm

Lintels are to be hot dipped galvanized

The above lintels are for supporting brick loads only Not for supporting roof loads.

For T Bars supporting b/work over garage r/doors use a proprietary item as per the manufacturers span charts

Brickwork Lintels

Metal Roofs Only

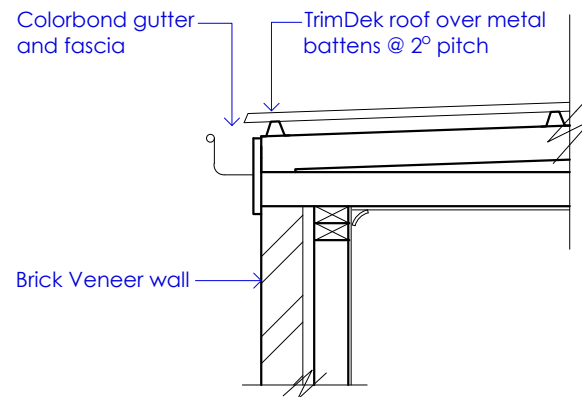
Max Roof Load Width 7200

SPAN UP TO 1800	SIZE 150 x 36 LVL
1800 to 2200	200 x 36 LVL
2200 to 2400	240 x 36 LVL
2400 to 3300	300 x 45 LVL
3300 to 4400	360 x 63 LVL
4400 to 4700	400 x 63 LVL

Lintels are to be Hyspan lintels by Carter Holt Harvey. An approved similar product may be used if builder requires.

The above lintels are for supporting uniformly distributed roof loads. Not point loads from Girder truss.

Lintels for Stud Walls



Garage Gutter Detail

SCALE 1: 20

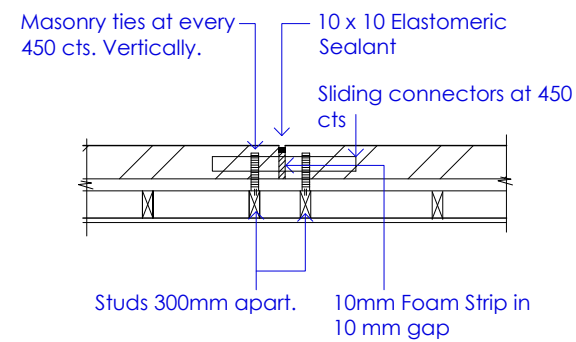
Metal Roofs Only

Max Roof Load Width 7500
Max Stud Height 2700

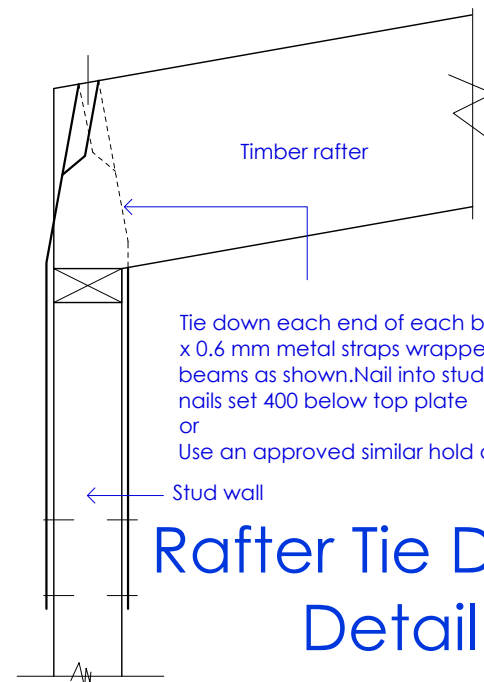
OPENING UP TO 1600	SIZE 90 x 45 MGP10
1600 to 2800	2 / 90 x 35 MGP10
2800 to 3800	2 / 90 x 45 MGP10
3800 to 4500	3 / 90 x 35 MGP10

For all other situations refer to AS 1684.

NOTE: Refer to Engrs Plan for exact Expansion Joint locations. (Generally at 4.5 cts at doors and windows if practicable)



Brick Expansion Joint Detail



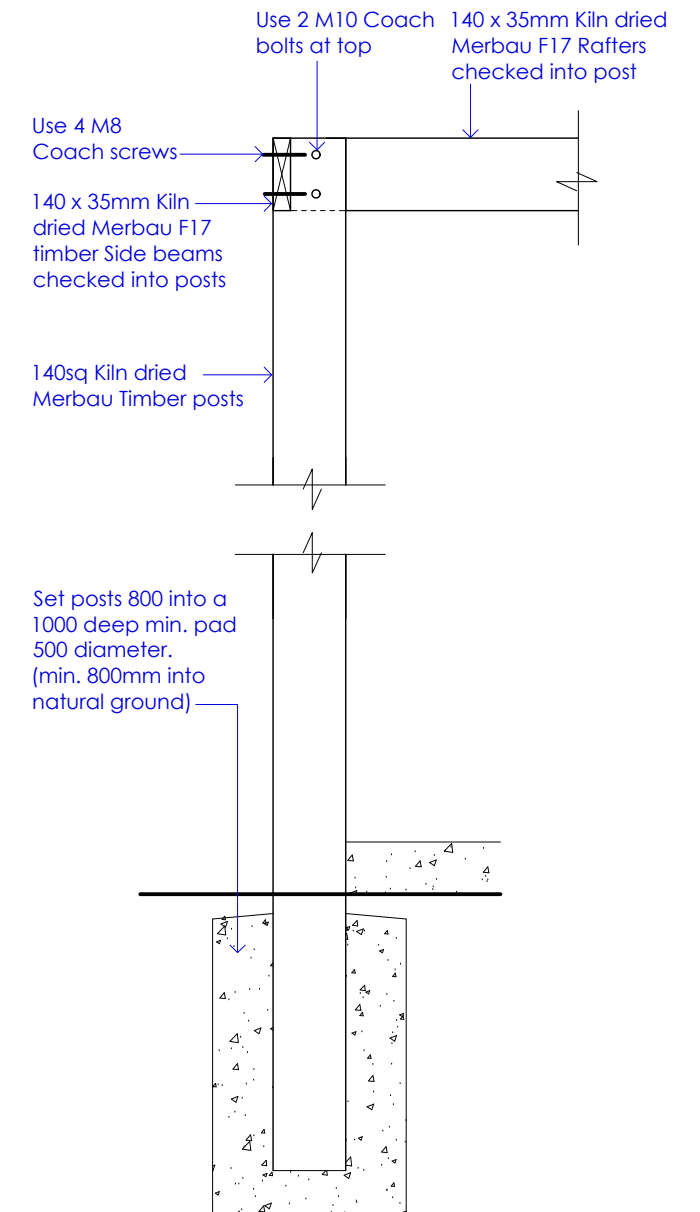
Rafter Tie Down Detail

Metal Roofs Only

Max Roof Load Width 7500
Max Stud Height 3600

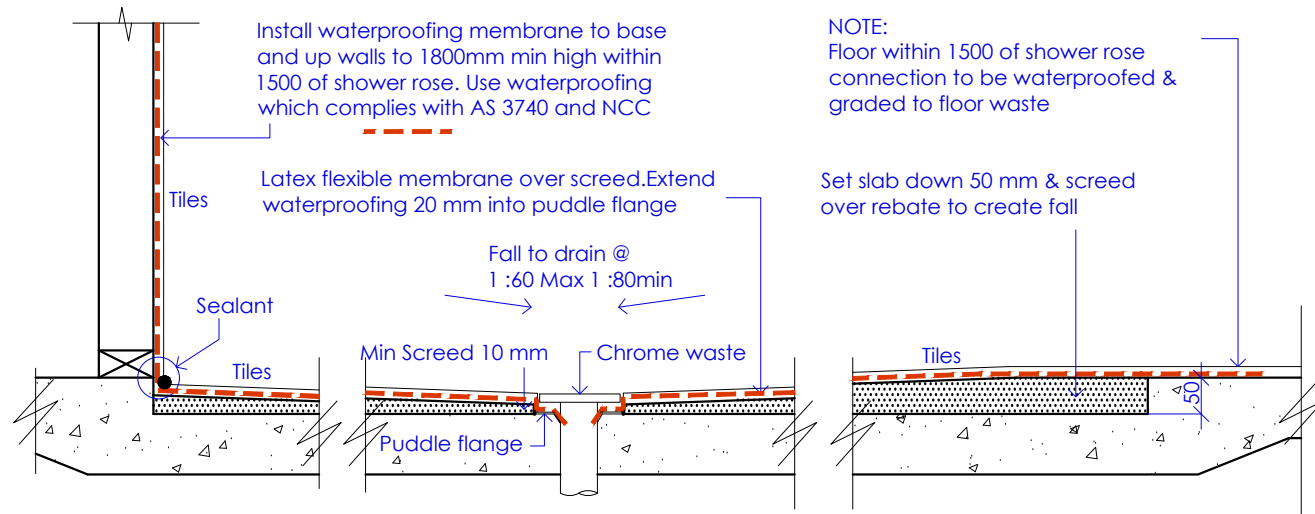
OPENING UP TO 1400	SIZE 2 / 90 x 35 MGP10
1400 to 1900	2 / 90 x 45 MGP10
1900 to 2400	3 / 90 x 35 MGP10
2400 to 3200	3 / 90 x 45 MGP10

For all other situations refer to AS 1684.



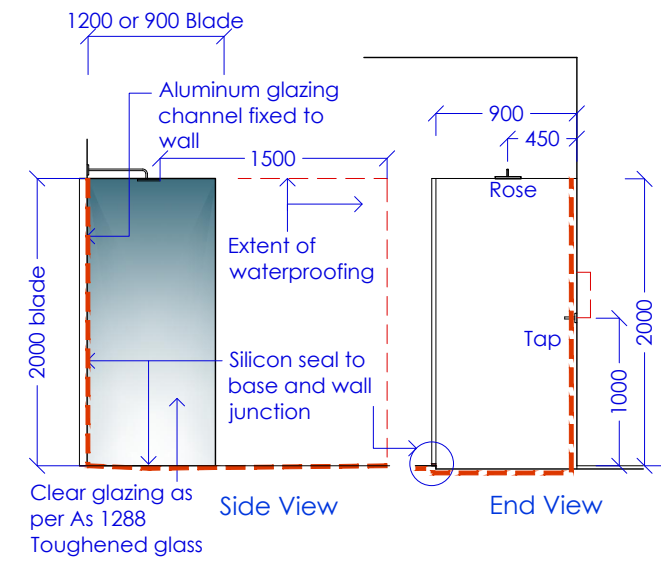
Pergola Post Detail

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				<p>DRAWN M. Santos</p>	<p>SHEET NO. A7 of 12</p>		
				<p>DESIGNED Client</p>	<p>JOB NO. 20785</p>		

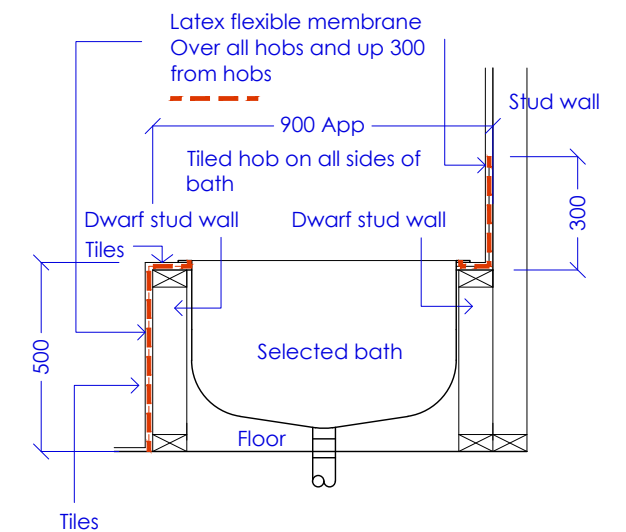


Tiled Shower Base Detail

Concrete Floor - Central Grate Waste



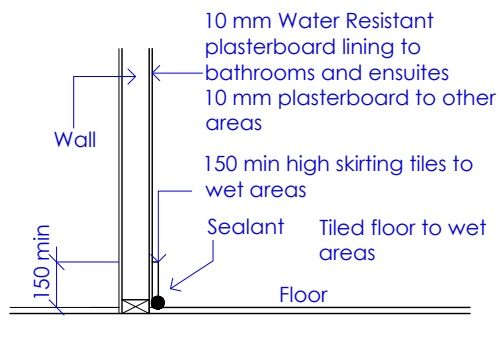
Glass Blade Detail



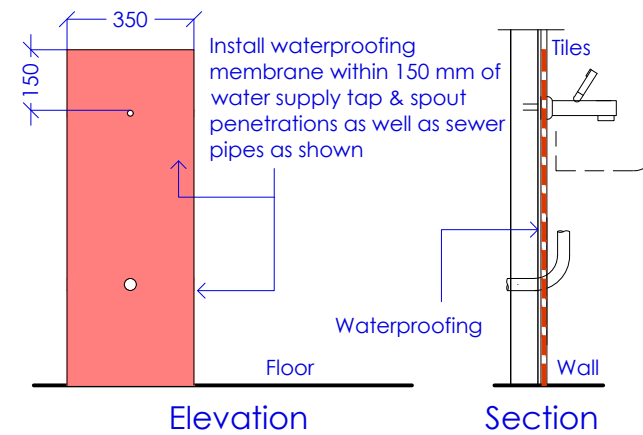
Bath Detail

Inset Bath

Water resistant construction is applicable for all wet areas - IE Bathrooms, EnSuites, WCs & Laundrys.

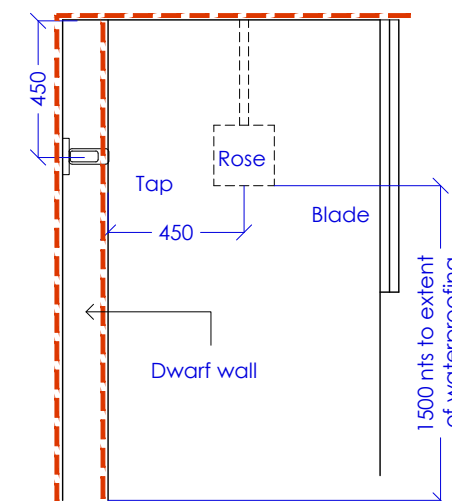


Water Resistant Construction

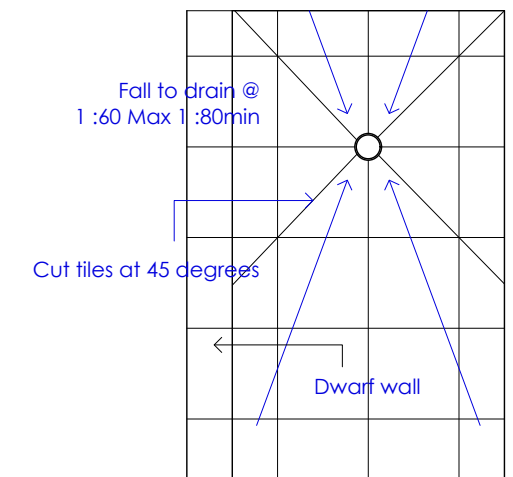


Applicable for all water vessels-Troughs, w/machines, basins, baths, sinks showers etc

Waterproofing Detail Around Pipes

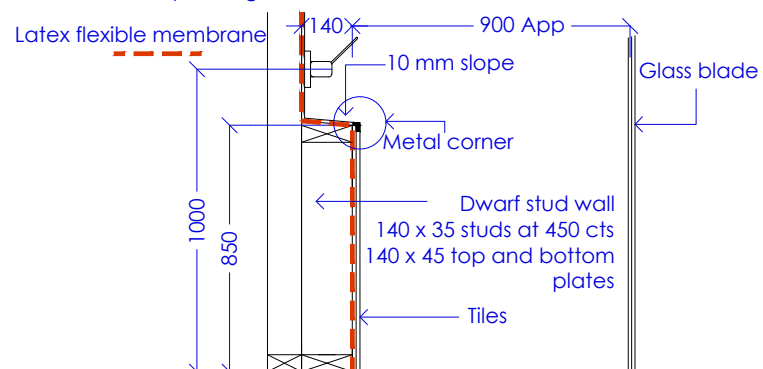


Shower Detail Dwarf Wall



Shower Plan Dwarf Wall

See also Waterproofing Details around Showers and Baths etc



Shower Section Dwarf Wall

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VIC CDP-AD56576

CLIENT
Rossbuild Constructions

PROJECT
No. 92 Ross St,
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Issue Date
Version 5 - 25/05/2020
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For Construction

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DATE
April 2020

DRAWN
M. Santos

DESIGNED
Client

SCALE
N/A @ A3 Sheet

DRAWING TITLE
Waterproofing Details

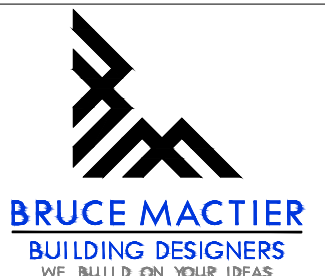
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A8 of 12

JOB NO.
20785

Bruce Mactier & Ass's P/L trading as

Level 2, 4 Welsford Street,
Shepparton, Victoria 3630
11-13 Sydney Street,
Kilmore Victoria 3764

(03) 5822 1255
admin@brucemactier.com
www.brucemactier.com.au



ELECTRICAL NOTES

Internal power outlets to be located 300mm above the floor (or bench top) unless it serves a specific appliance such as a refrigerator or dishwasher where the position shall be appropriate for the equipment.

External and garage power outlets to be located 1000mm above floor. Power for garage doors to be located next to garage door motor. Power points and light control switches shall be white in colour unless noted otherwise.

Light control points shall be located 1000mm from the floor.

All light fittings (except where noted otherwise) shall be supplied and installed by the builder.

TV aerial to be supplied and installed by owner after completion of contract

Provide power to all appliances that require power such as heaters, coolers and stoves.

All work to comply with AS 3000 and the Supply Authorities requirements. Telephone connection fees by owner. Meter box to be metal.

Electrician to liaise with Client to check if NBN & associated data point connection is required to future proof house.

Smoke detectors to be interconnected as per regulation 3.7.2.2 (d) of the NCC

Bathroom/Ensuite or Sanitary compartments must have an Exhaust capacity of 25L/sec min Ducted to outside through roof vent (avoid vents to front elevation) or sideways to wall vent

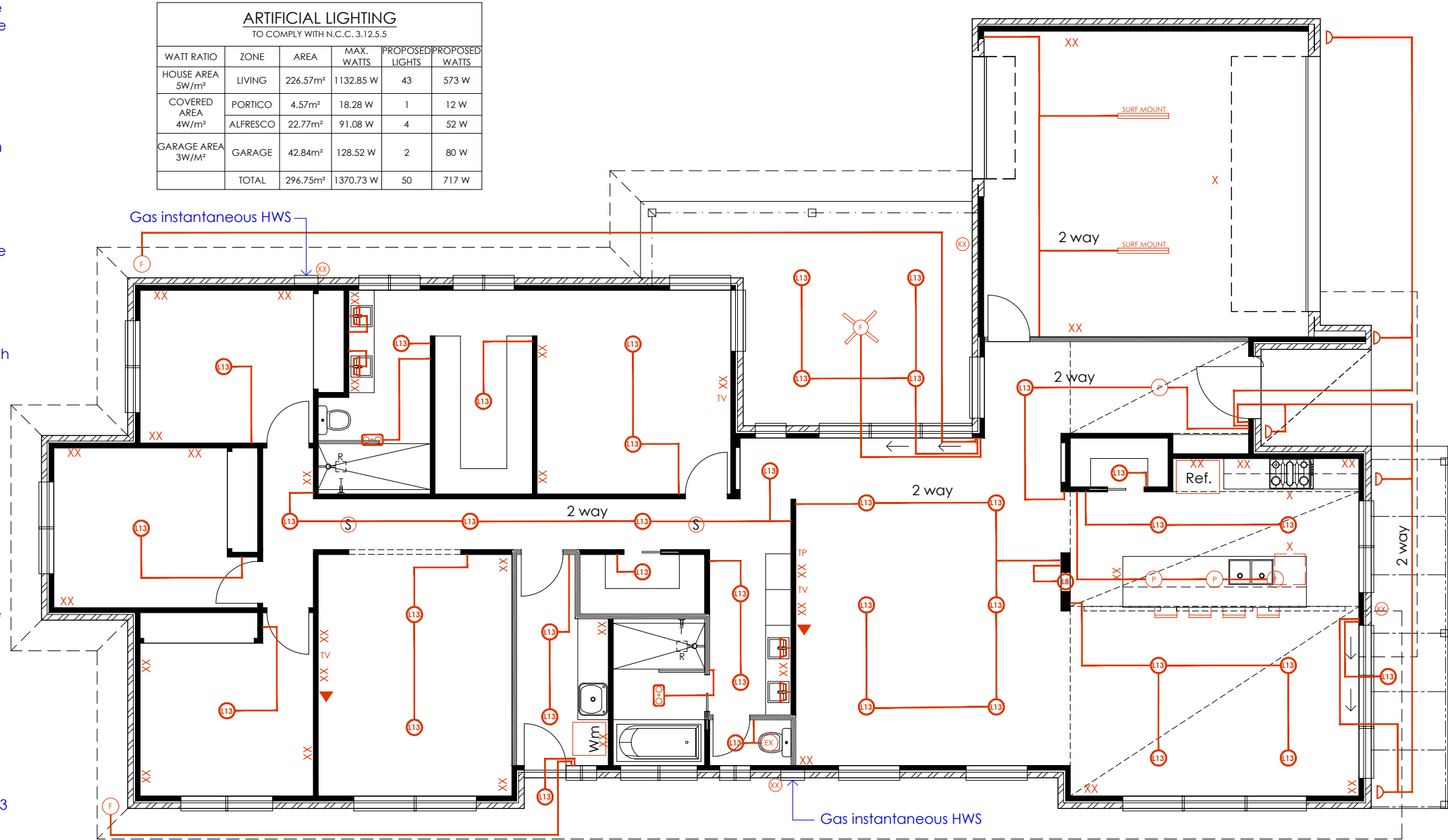
Kitchen or Laundry compartments must have an Exhaust capacity of 40L/sec min Ducted to outside through roof vent (avoid vents to front elevation) or sideways to wall vent

Flow rates & discharge of exhaust systems to be in accordance with NCC 2019 Volume Two, Clause 3.8.7.3

ELECTRICAL LEGEND

- Single Power Outlet X IXL 2 bulb Fan/Light/Heat. 2 x 275w Heat Lamps & 6w LED Exh capacity 25 l/sec min
- Double Point Outlet XX Pendant Light (Fitting by owner) 8w LED globe
- External Double Power Outlet XX Exhaust Fan (Auto retracting) 25 litre per sec capacity Vent thru roof cowl
- Wall Light 12w (fitting by owner) XX Smoke Detectors
- TV Point TV All smoke detectors to be interconnected Connect to mains electricity supply.
- Telephone Point TP Data point
- "Tradetec Prime" or approved similar LED downlight kit 13W 100 DEG (Sealed - IC-4 covered) L13 Wall Mounted Vanity Light LED 25W
- Ceiling Fan F 40w 4k LED Panel light 1200x75 Surface mount with Polycarbonate diffuser

ARTIFICIAL LIGHTING TO COMPLY WITH N.C.C. 3.12.5.5					
WATT RATIO	ZONE	AREA	MAX. WATTS	PROPOSED LIGHTS	PROPOSED WATTS
HOUSE AREA 5W/m ²	LIVING	226.57m ²	1132.85 W	43	573 W
COVERED AREA 4W/m ²	PORTICO	4.57m ²	18.28 W	1	12 W
	ALFRESCO	22.77m ²	91.08 W	4	52 W
GARAGE AREA 3W/m ²	GARAGE	42.84m ²	128.52 W	2	80 W
TOTAL		296.75m ²	1370.73 W	50	717 W



5.9
NATIONWIDE HOUSE
131.2 M/M²

Certificate Number: S03TNE2MQV
 Assessor Name: Michael Sullivan
 Accreditation number: VIC/BD/AV100/128
 Certificate date: 27 May 2020
 Dwelling address: 92 Ross Street Armidale NSW 2350
www.nathers.gov.au

https://www.nat.com.au/QRCode/Landing?franchise=S03TNE2MQV

Electrical Plan

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ROOFING NOTES

All roofing to comply with AS3500. Make roof watertight.

Install sarking below all metal roofs. Extend sarking 50 mm into gutters

All box gutters (if shown on plans) to comply with SAA/SNZ 114 Current Version - Guidelines for Design of Eaves and Box Gutters

Turn troughs of all decking down 15 mm at ends of all sheets.

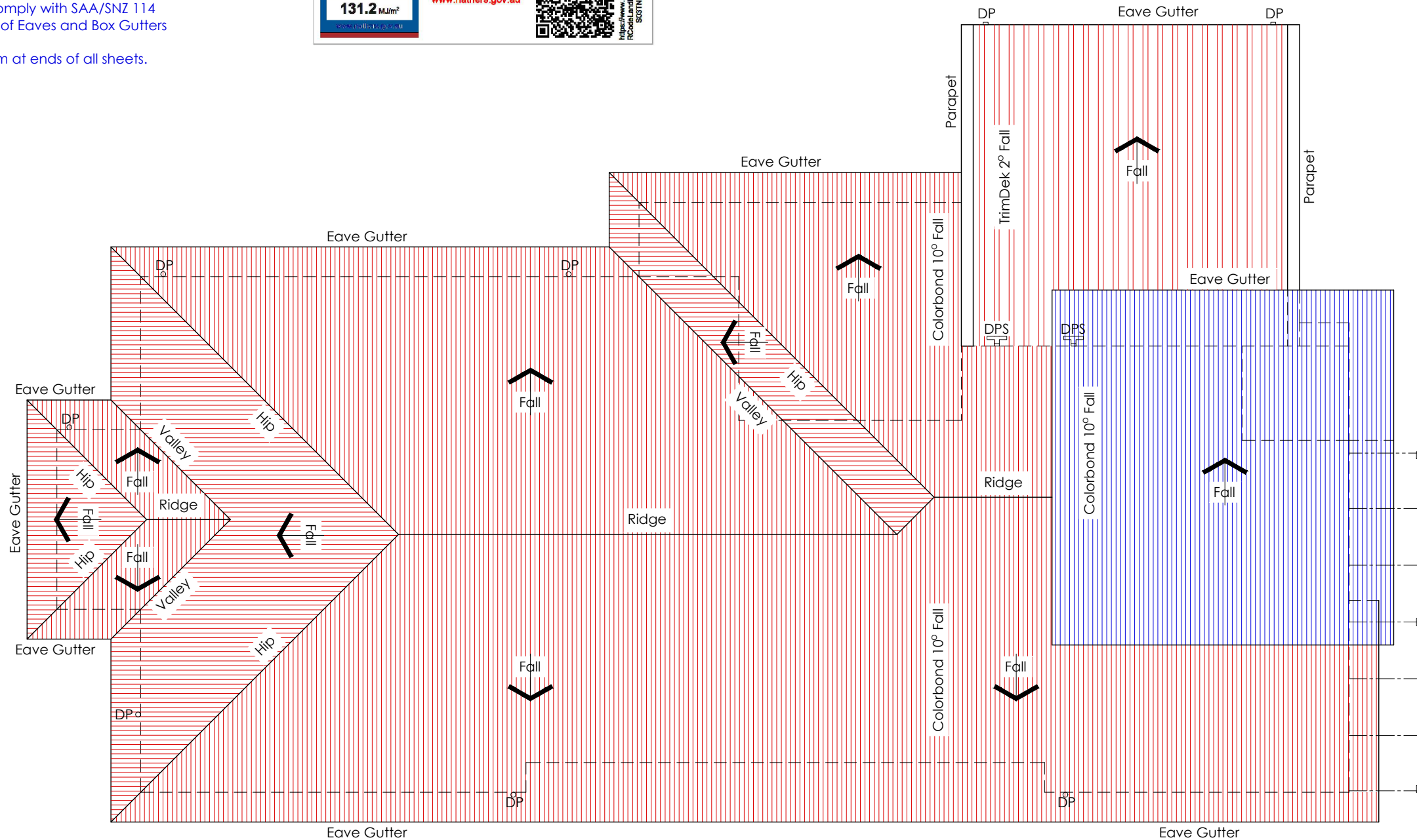


5.9
NATIONWIDE
HOUSE
BUILDING QUALITY ASSURANCE
131.2 MJ/m²

Certificate Number: S03TNE2M0V
 Assessor Name: Michael Sullivan
 Accreditation number: VIC/BDAV/10/0129
 Certificate date: 27 May 2020
 Dwelling address: 92 Ross Street Armidale NSW 2350
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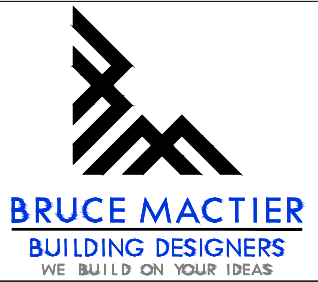
https://www.nathers.gov.au/QR/ROOFING/2020/S03TNE2M0V



New Higher Roof

New Lower Roof

Roof Plan

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General Notes

ENERGY RATING NOTES

New Work

The builder shall refer to the Energy Rating Report for details.

All glazing shall be as per the Energy Rating Report.
All windows shall be fitted with seals on all 4 sides.

All exhaust fans shall be self closing.
All external swing doors & internal doors in house/garage walls shall be fitted with Raven compressible rubber door seals at the top and sides. At the bottom of all swing doors install a Raven flap seal.
All roof lights to be sealed with a weatherproof seal.

Refer to the Section on the Plans for details of wall insulation and ceiling insulation.

For Energy rating purposes we have assumed a 225 deep min . waffle pod will be used. If the slab is a raft slab then the Energy rating will need to be modified

OWNERS NOTES

Owners should maintain their buildings in accordance with the CSIROs Home Owners Maintenance manual.

Clay soils will swell, and shrink with variations in moisture content. This movement may cause damage to the building.

In order to minimise the damage we recommend the following precautions be taken -

- 1) Provide adequate site drainage to ensure water will not pond against or near the building.
- 2) Grade the site within 2m of the building, away from the building, to ensure that no water ponds near the building.
- 3) Maintain sewage and stormwater systems to ensure no leakages occur. If they occur, repair them promptly.

- 4) Trees and shrubs should not be planted or allowed to exist, closer than 0.75 times their mature height. Avoid establishing garden beds next to the building. Gardens and lawns should be watered adequately but not excessively. Uniform consistent watering can be important to prevent damage to the foundations during dry spells or droughts.



BUILDERS NOTES

Standards

The Builder shall ensure the building complies with the following Regulations and Standards

Building Code of Australia
AS 1582 Roofing AS3660 Termite Code
AS1288 Glazing Code AS 3000 Electrical
AS 2870 Slabs and Footings AS 1684 Timber Framing
AS 3500 Plumbing Code AS 3740 Waterproofing Code
and all other standards nominated in the NCC

Site Levels

The Builder shall ensure the building is built at a minimum of 270 mm above any adjoining ground level.
The builder shall grade the soil away from the building at a rate of 50 mm for every meter for at least 2 meters to ensure any surface water will not pond against the building.

Masonry

Incorporate Control Joints (or full height openings) in all masonry walls at a max. of 4.5m cts. Locate additional joints in masonry directly over junctions in footings which are different types,
eg. at House/Garage or Existing Building/New Extension.

Termite Protection

Treat building for termites as per A.S. 3660.1. Use termite resistant T2 framing (walls, trusses & all primary building elements) throughout proposed works.
Install Kordon termite collars around all plumbing penetrations thru slab.

Timber Exposed to Weather

All timber exposed to weather, but not in ground, shall be to H3 classification.

All timber in ground to be H 5 Classification

Glazing -Bathrooms and En-Suites

All windows within 2000mm of the floor shall have Safety glazing as per AS1288.

Floor Tiles

Minor movement shall inevitably occur in most floors. In order to minimise any damage to floor tiles as a result of floor cracking/movement a flexible adhesive shall be used.

Doors

Doors sizes shall be as per floor plan unless noted otherwise. Bathroom, Ensuites & Toilets shall have doors sizes as per floor plan.

Toilet cubicle doors shall be fitted with removable hinges. CS denotes a cavity sliding door.

Smoke Detectors

Smoke detectors are denoted (S) on the plan. These shall be installed as per AS 3788. Where more than 1 detector is installed they shall be interconnected electrically. Connect to mains electricity supply.

BUILDERS NOTES Cont'd

Drains

Piping trenches running parallel with the Building should be located at an offset from the footing equal to the depth.

Stair Details- If Required

Riser Height - Min. 115mm, Max. 190mm
Tread Going - Min. 250mm, Max. 355mm
Minimum Vertical Clearance - 2000mm
Install 1 no H/rail 900 above nosing for dwellings
Install 2 No. H/rails 900 above nosings for Commercial Buildings

Balustrades

(applicable for landings, Balconys & Verandahs 1000mm Min. above ground level).

Height

865mm Min. above stair tread nosings.
1000mm Min. above Finished Floor Level.

Openings

Constructed so a 125mm sphere cannot pass through.



NOTE FOR ENGINEERS

The Engineer engaged to carry out the design of the slabs and footings shall design the system in accordance with AS 2870, NCC, the Soil Test and all other site conditions such as cut/fill which may exist on the site.

The Engineer shall take into consideration trees and underground pipes which exist or may exist in the future. The Engineer shall collect information on all the piping systems, sewer mains, plumbers sewer drainage pipes, stormwater pipes etc, slab heating (Electric or hydronic if applicable) and design his slab/footings accordingly. The Engineer shall liaise directly with the Sewer Authority, plumber, client and builder to obtain the above information.

The Engineer engaged to carry out the design of the slabs/subfloor shall take full responsibility for the above. Bruce Mactier Building Designers does not accept any responsibility for the Engineers work.

Design Work by Engineer

- Soil Test
- Footing Design
- Lintel supporting roof load over kitchen/meals
- Columns to support lintel
- Other Items needing Engineering Design

This Site - Some of the issues

- Engineer to note -
- Sewer mains and plumbers sewer drainage pipes near footings
 - Isolated patches of fill

Bracing Plan

Bracing Plan by Engineer if required

These are only some of the issues to be considered in the footing design. This is not a complete list of issues. The Engineer shall investigate all the issues which may effect the design and ensure that the design is appropriate and structurally sound.

The Engineers shall forward a copy of Plans, Soil Tests, Computations etc. to Bruce Mactier Building Designers.

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					<p>DRAWN</p> <p>M. Santos</p>	<p>SHEET NO.</p> <p>A11 of 12</p>		
					<p>DESIGNED</p> <p>Client</p>	<p>JOB NO.</p> <p>20785</p>		

