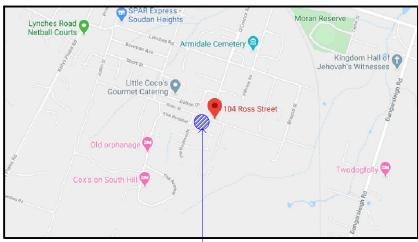


-Builder to implement measures to minimise mud, crushed rock or other debris being carried onto public roads and footpaths from site.

Also measures taken to retain all silt and soil on site during construction phase. Builder to maintain neat & tidy site during construction phase.

Builder to install 90Ø UPVC Downpipes

The person responsible for installing the tank system shall extend the stormwater system to the tanks via 100Ø PVC pipes. Install an overflow system to ensure water will not pond near tanks or buildings. Discharge into legal point of discharge nominated by council.

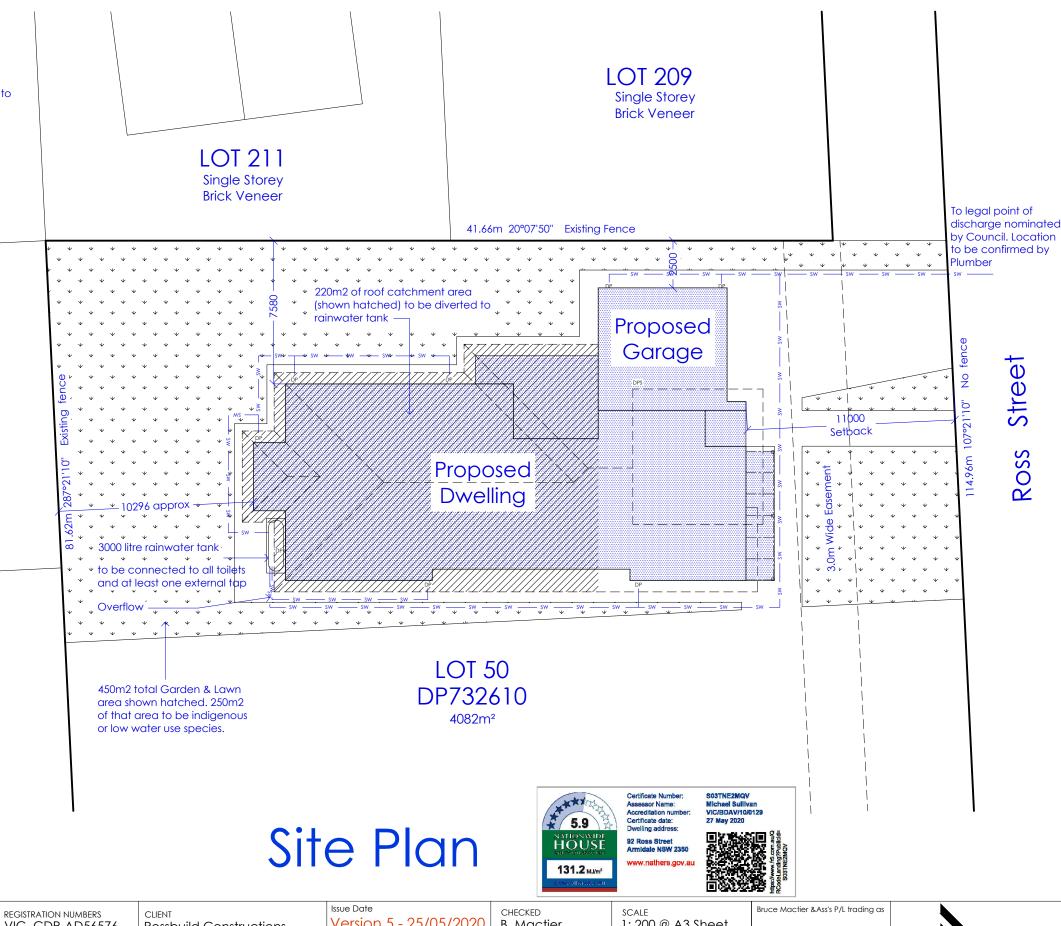


Location of Works

Locality Plan

BASIX Certificate number: 1101172S 02

| BASIA Cermicale nomber. 11011/25_02 | | |
|---|-------------------|--------------------------|
| Summary of BASIX Commitments | | |
| This information is a summary of the E | | ts for this |
| project. Refer to the certificate for fu | | |
| SHIRE - ARMIDALE REGIONAL COUNC | :IL | |
| Landscaping | | |
| Total area of garden & lawn (m²) | | 450m² |
| Area of indigenous plantings (m ²) | | 250m ² |
| Water | | |
| Rainwater tank capacity (litres) | | 3000 |
| Area of roof that needs to be conne | | 220m² |
| Connect tank to at least one garder | n tap | Yes |
| Connect tank to all toilets | | Yes |
| Connect tank to cold water tap of w | rashing machine | No |
| Rating of all shower heads installed | | 3 Star(>6 but <7.5L/min) |
| Rating of all toilet cisterns installed | | 4 Star |
| Bathroom tap fittings | | 4 Star |
| Kitchen tap fittings | | 4 Star |
| Thermal Performance | | |
| Refer to Thermal Performance commitments for full details | | |
| Roof colour | | Medium |
| External Wall colour | | N/A |
| Energy | | |
| Active cooling to living areas | Reverse Cycle A | |
| Active cooling to bedroom areas | Reverse Cycle A | |
| Active heating to living areas | Reverse Cycle A | |
| Active heating to bedroom areas | Reverse Cycle A | |
| Hot water system | Gas Instantaned | |
| Bath Exhaust System | Individual Fan, r | |
| | manual switch o | |
| Kitchen Exhaust System | | ducted to facade |
| | or roof, manual | |
| Ldry Exhaust System | Natural ventilati | , |
| Cooking (hotplates/oven) | gas cooktop & c | |
| Clothesline | | to be confirmed |
| Ventilated Fridge Space | No | |



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Contract No. Dated.

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Contractor.

VIC CDP-AD56576

Rossbuild Constructions

No. 92 Ross St, Armidale, NSW 2350 Version 5 - 25/05/2020 Drawing Status

For Construction



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Client

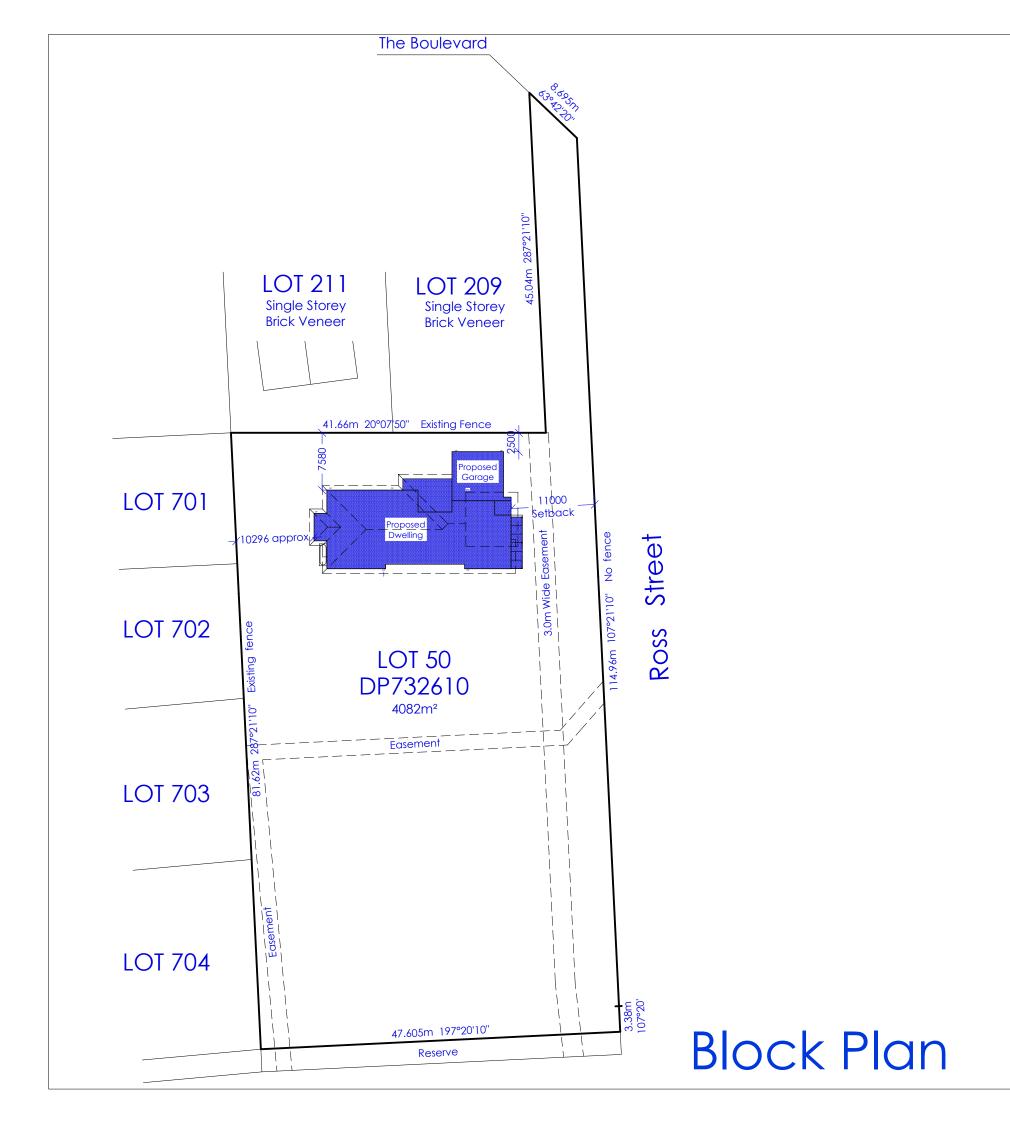
| CHECKED B. Mactier | scale 1: 200 @ A3 Sheet | |
|---------------------|----------------------------|--|
| DATE April 2020 | DRAWING TITLE Site Plan | |
| DRAWN M. Santos | SHEET NO. A3 of 12 | |

JOB NO.

20785

Level 2, 4 Welsford Street, Shepparton, Victoria 3630 11-13 Sydney Street, Kilmore Victoria 3764





Issue Date

Version 5 - 25/05/2020

Drawing Status

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April 2020

DRAWN M. Santos

DESIGN Client

CHECKED B. Mactier

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REGISTRATION NUMBERS
VIC CDP-AD 56576

DRAWING TITLE Block Plan

SHEET NUMBER A4 of 12

JOB NUMBER 20785



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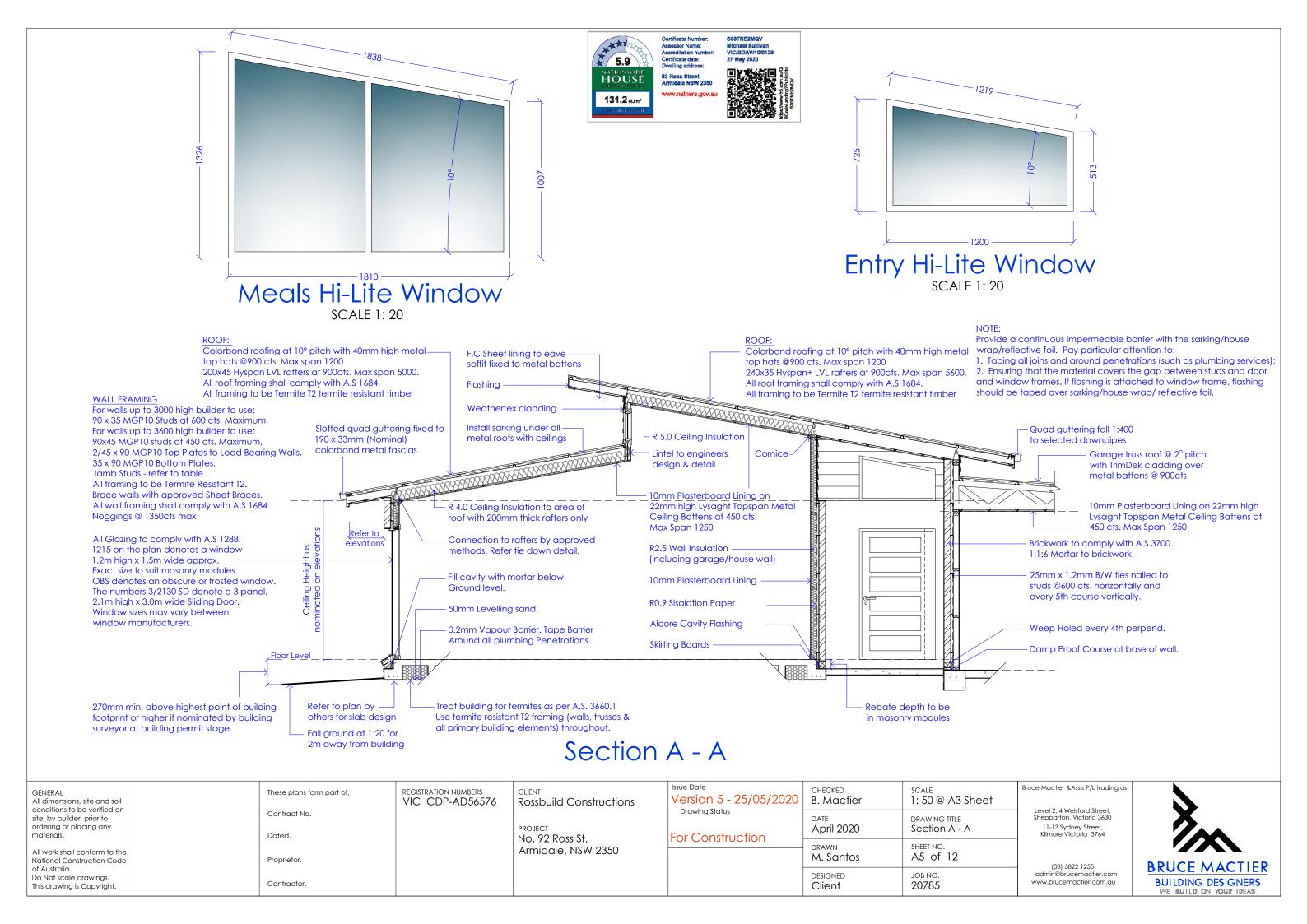
BUILDING DESIGNERS

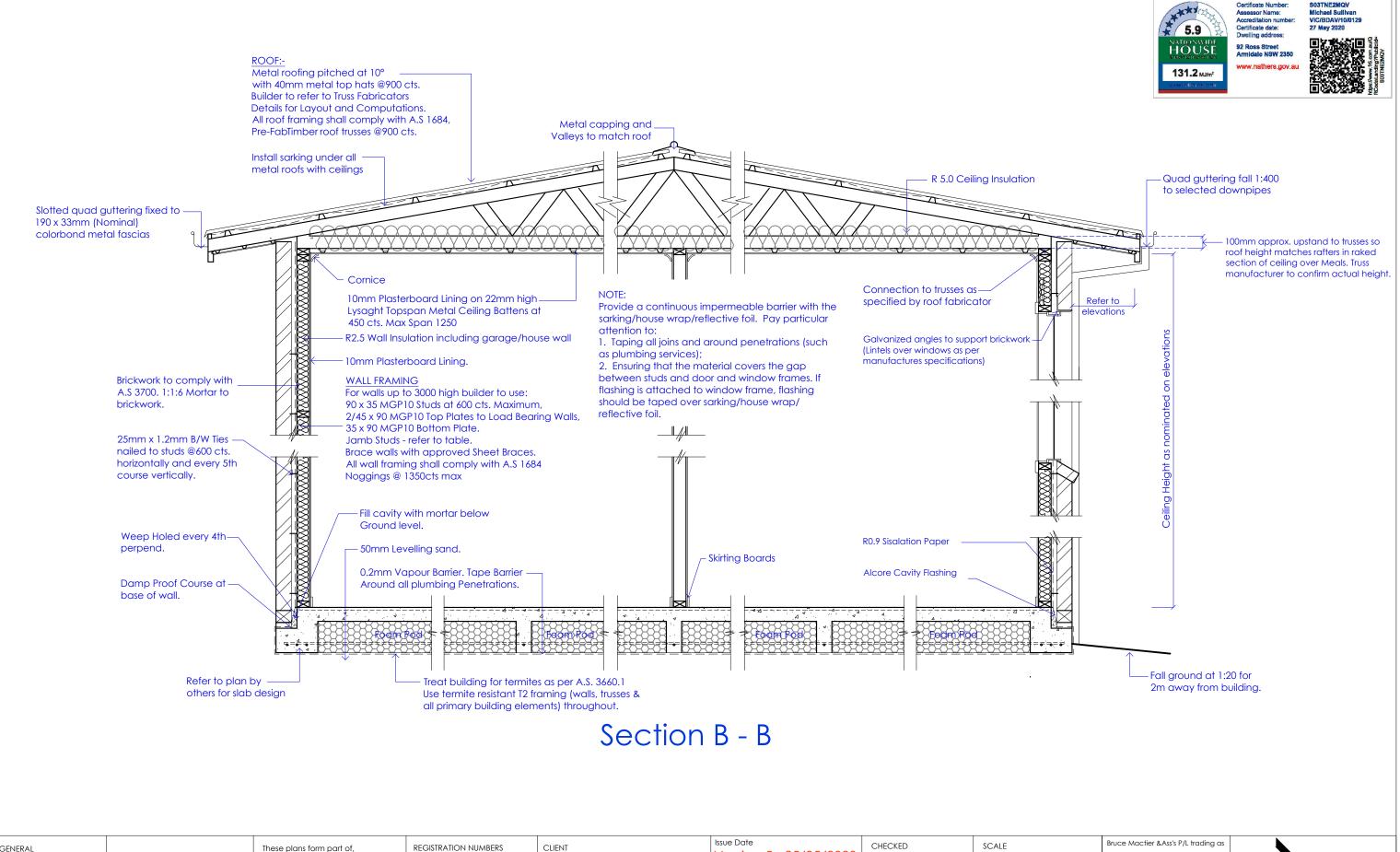
Level 2, 4 Welsford Street Shepparton 3630 11-13 Sydney Street Kilmore 3764

> (03) 58 221 255 admin@brucemactier.com www.brucemactier.com.au

5.9 131.2 MJ/m²

S03TNE2MQV Michael Sullivan VIC/BDAV/10/0129





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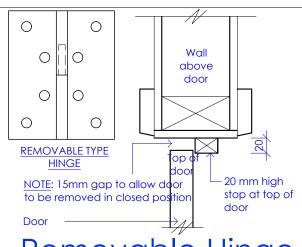
CHECKED 1: 25 @ A3 Sheet B. Mactier DRAWING TITLE DATE **April 2020** Section B - B SHEET NO. DRAWN M. Santos A6 of 12 DESIGNED JOB NO.

20785

Client

Level 2, 4 Welsford Street, Shepparton, Victoria 3630 11-13 Sydney Street, Kilmore Victoria 3764





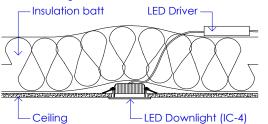
Removable Hinge Detail For WC

Applicable for all toilets - with a door swing within 1200 of edge of pan. IE In toilet cubicles only

Building insulation abutting or is within 100mm horizontally of the luminaire must meet the following requirements: Be of a type that can maintain its dimensions and structural integrity when exposed to a maximum surface temperature of the class of the luminaire, being 90°C; Be of a type that can withstand a 30 second needle flame test carried out in accordance with AS/NZS 60695.11.5 with a flame applied to all surfaces of the sample. Insulation types which should be used with this fitting are glass wool (Pink Batts) & polyester.

IMPORTANT NOTE: Builder must NOT install loose fill insulation, such as wool or macerated paper.

Fixture Driver or Control Gear must be mounted <u>above</u> any insulation covering the fixture.



Insulation over LED Non Load bearing B/work

| SPAN UP TO 950mm | SIZE Width x Height 89W x 10 D FLAT | MIN END BEARINGS 150mm |
|---------------------|--|---------------------------|
| 950 TO 1200 | 89W x 76Dx 10L | 200mm |
| 1200 TO 1650 | 89W x 102D x 10L | 230mm |
| 1650 TO 2400 | 89W x 127Dx 10L | 230mm |
| 2400 TO 3000 | 89W x 152D x 10L | 230mm |

Lintels are to be hot dipped galvanized

The above lintels are for supporting brick loads only <u>Not</u> for supporting roof loads.

For T Bars supporting b/work over garage r/doors use a proprietary item as per the manufacturers span charts

Brickwork Lintels

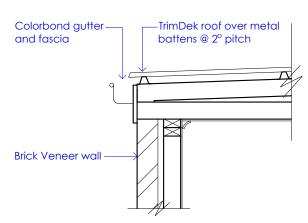
Metal Roofs Only

| SPAN UP TO 1800 | SIZE 150 x 36 LVL |
|--------------------|----------------------|
| 1800 to 2200 | 200 x 36 LVL |
| 2200 to 2400 | 240 x 36 LVL |
| 2400 to 3300 | 300 x 45 LVL |
| 3300 to 4400 | 360 x 63 LVL |
| 4400 to 4700 | 400 x 63 LVL |

Lintels are to be Hyspan lintels by Carter Holt Harvey. An approved similar product may be used if builder requires.

The above lintels are for supporting uniformly distributed roof loads. Not point loads from Girder truss.

Lintels for Stud Walls



Garage Gutter Detail

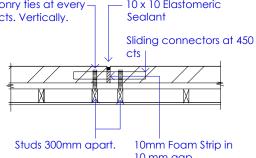
Metal Roofs Only

Max Roof Load Width 7500 Max Stud Height 2700

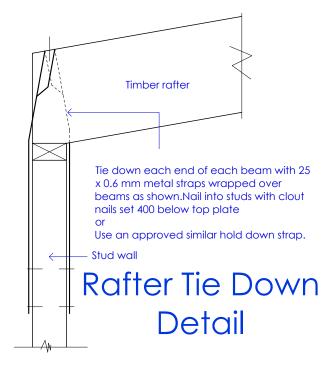
| OPENING | SIZE |
|--------------|--|
| UP TO 1600 | 90 x 45 MGP10 |
| 1600 to 2800 | 2 / 90 x 35 MGP10 |
| 2800 to 3800 | 2 / 90 x 45 MGP10 |
| 3800 to 4500 | 3 / 90 x 35 MGP10 |
| | UP TO 1600 1600 to 2800 2800 to 3800 |

For all other situations refer to AS 1684.

NOTE: Refer to Engrs Plan for exact Expansion Joint locations.(Generally at 4.5 cts at doors and windows if practicable) Masonry ties at every 450 cts. Vertically. NOTE: Refer to Engrs Plan for exact Expansion Joint locations. (Generally at 4.5 cts at doors and windows if practicable) Masonry ties at every Sealant



Brick Expansion Joint Detail



Use 2 M10 Coach 140 x 35mm Kiln dried bolts at top Merbau F17 Rafters checked into post Use 4 M8 Coach screws 140 x 35mm Kiln dried Merbau F17 timber Side beams checked into posts 140sq Kiln dried Merbau Timber posts Set posts 800 into a 1000 deep min. pad 500 diameter. (min. 800mm into natural ground)

Pergola Post Detail

Metal Roofs Only

Max Roof Load Width 7500

| OPENING | SIZE |
|--------------|-------------------|
| UP TO 1400 | 2/ 90 x 35 MGP10 |
| 1400 to 1900 | 2 / 90 x 45 MGP10 |
| 1900 to 2400 | 3 / 90 x 35 MGP10 |
| 2400 to 3200 | 3 / 90 x 45 MGP10 |

For all other situations refer to AS 1684

Studs @ Sides of Openings

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Proprietor.

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Rossbuild Constructions

PROJECT No. 92 Ross St, Armidale, NSW 2350 Issue Date
Version 5 - 25/05/2020
Drawing Status

For Construction

CHECKED
B. Mactier

DATE
April 2020

DRAWN
M. Santos

DESIGNED

SCALE
N/A @ A3 Sheet

DRAWING TITLE
Details

SHEET NO.
A7 of 12

JOB NO.

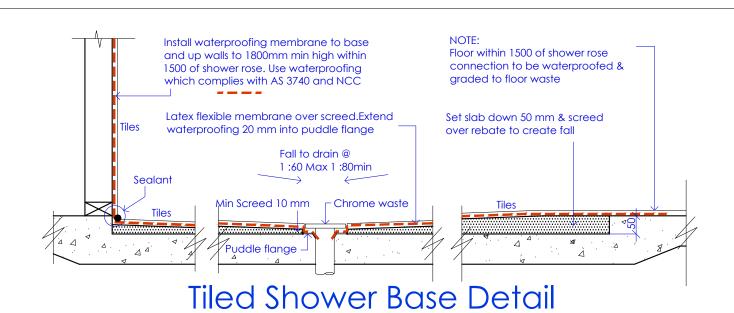
Client

20785

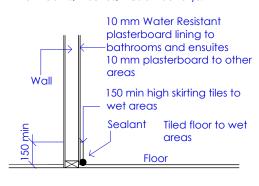
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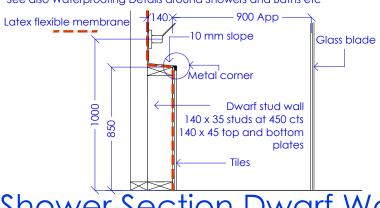


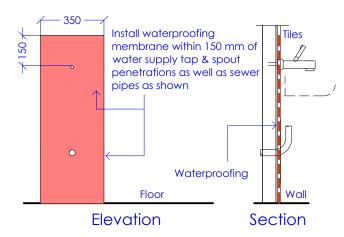
Water resistant construction is applicable for all wet areas - IE Bathrooms, EnSuites, WCs & Laundrys.



Water Resistant Construction

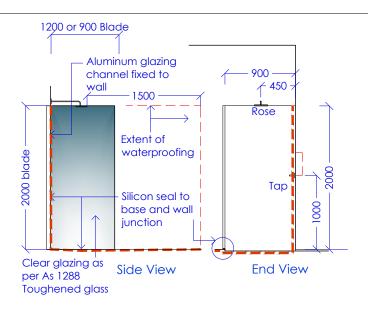
See also Waterproofing Details around Showers and Baths etc



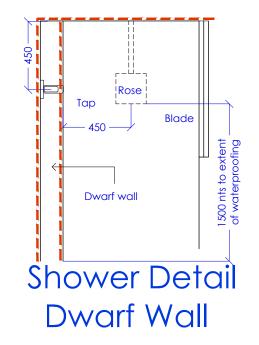


Applicable for all water vessels-Troughs, w/machines, basins,

Waterproofing **Detail Around Pipes**



Glass Blade Detail



Tiles Selected bath

Latex flexible membrane

Over all hobs and up 300

900 App

Dwarf stud wall

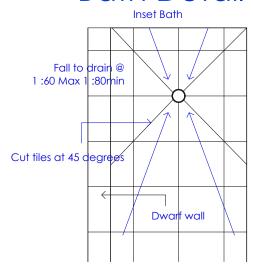
Tiled hob on all sides of

Stud wall

from hobs

Dwarf stud wall

Bath Detail



Shower Plan Dwarf Wall

Shower Section Dwarf Wall

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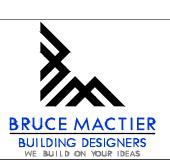
CHECKED SCALE N/A @ A3 Sheet B. Mactier DRAWING TITLE **April 2020** Waterproofing Details DRAWN SHEET NO. A8 of 12 M. Santos DESIGNED

20785

Client

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ELECTRICAL NOTES

Internal power outlets to be located 300mm above the floor (or bench top) unless it serves a specific appliance such as a refrigerator or dishwasher where the position shall be appropriate for the equipment.

External and garage power outlets to be located 1000mm above floor. Power for garage doors to be located next to garage door motor. Power points and light control switches shall be white in colour unless noted otherwise.

Light control points shall be located 1000mm from the

All light fittings (except where noted otherwise) shall be supplied and installed by the builder.

TV aerial to be supplied and installed by owner after completion of contract

Provide power to all appliances that require power such as heaters, coolers and stoves.

All work to comply with AS 3000 and the Supply Authorities requirements. Telephone connection fees by owner. Meter box to be metal.

Electrician to liaise with Client to check if NBN & associated data point connection is required to future proof house.

Smoke detectors to be interconnected as per regulation 3.7.2.2 (d) of the NCC

Bathroom/Ensuite or Sanitary compartments must have an Exhaust capacity of 25L/sec min Ducted to outside through roof vent (avoid vents to front elevation) or sideways to wall vent

Kitchen or Laundry compartments must have an Exhaust capacity of 40L/sec min Ducted to outside through roof vent (avoid vents to front elevation) or sideways to wall vent

Flow rates & discharge of exhaust systems to be in accordance with NCC 2019 Volume Two, Clause 3.8.7.3

ARTIFICIAL LIGHTING WATT RATIO WATTS LIGHTS WATTS HOUSE AREA 573 W HVING 226.57m² 1132.85 W 43 PORTICO 18.28 W 12 W 4.57m² ALFRESCO 52 W 22.77m² 91.08 W 4W/m² ARAGE ARE 128.52 V 80 W TOTAL 296.75m² 1370.73 W 50 717 W Gas instantaneous HWS-2 way 2 way 2 way Gas instantaneous HWS

F

ELECTRICAL LEGEND

IXL 2 bulb Fan/Light/Heat. 2 x 275w Heat Lamps & 6w LED Exh capacity 25 l/sec min Single Power Outlet Double Point Outlet Pendant Light(Fitting by owner) 8w LED globe External Double Power Outlet Exhaust Fan (Auto retracting) 25 litre per sec capacity Wall Light 12w (fitting by owner) Vent thru roof cowl TV Point **Smoke Detectors** Telephone Point Connect to mains electricity supply. "Tradetec Prime" or approved similar Data point LED downlight kit 13W 100 DEG (Sealed - IC-4 covered) Wall Mounted Vanity Light LED 25W

Ceiling Fan

0.0 All smoke detectors to be interconnected

40w 4k LED Panel light 1200x75 Surface mount with Polycarbonate diffuser

Flood light 2 x 15w LED globes

"Tradetec Arte Mini" or approved similar LED downlight kit 8W 100 DEG (Sealed - IC-4 covered)

(S)

 \Box

SURF MOUNT



DESIGNED

Client

Electrical Plan

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1: 100 @ A3 Sheet B. Mactier DRAWING TITLE **April 2020** Electrical Plan SHEET NO. DRAWN M. Santos A9 of 12

20785

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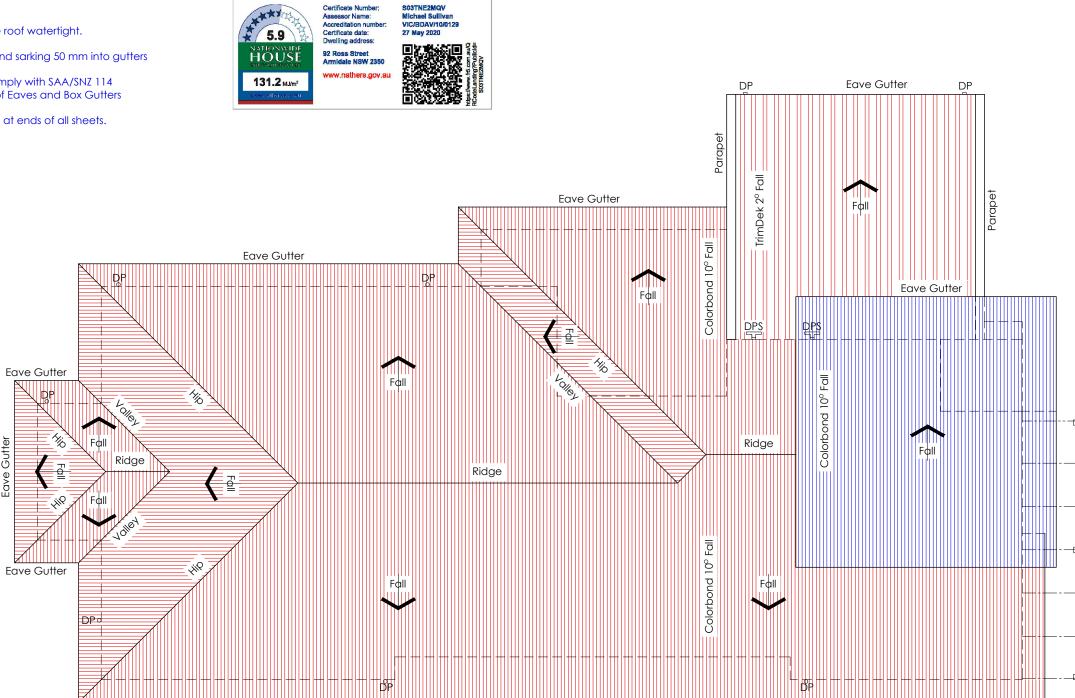
ROOFING NOTES

All roofing to comply with AS3500. Make roof watertight.

Install sarking below all metal roofs. Extend sarking 50 mm into gutters

All box gutters (if shown on plans) to comply with SAA/SNZ 114 Current Version - Guidelines for Design of Eaves and Box Gutters

Turn troughs of all decking down 15 mm at ends of all sheets.





New Higher Roof



New Lower Roof

Roof Plan

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Eave Gutter

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| |

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|---------------------|----------------------------|----|
| DATE April 2020 | DRAWING TITLE Roof Plan | |
| DRAWN M. Santos | SHEET NO. A10 of 12 | |
| DESIGNED Client | JOB NO. 20785 | |

Eave Gutter

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General Notes

ENERGY RATING NOTES

The builder shall refer to the Energy Rating Report for details.

All glazing shall be as per the Energy Rating Report. All windows shall be fitted with seals on all 4 sides.

All exhaust fans shall be self closina.

All external swing doors & internal doors in house/garage walls shall be fitted with Raven compressible rubber door seals at the top and sides. At the bottom of all swing doors install a Rayen flap seal.

All roof lights to be sealed with a weatherproof seal.

Refer to the Section on the Plans for details of wall insulation and ceiling insulation.

For Energy rating purposes we have assumed a 225 deep min . waffle pod will be used. If the slab is a raft slab then the Energy rating will need to be modified

OWNERS NOTES

Owners should maintain their buildings in accordance with the CSIROs Home Owners Maintenance manual.

Clay soils will swell, and shrink with variations in moisture content. This movement may cause damage to the building.

In order to minimise the damage we recommend the following precautions be taken -

- 1) Provide adequate site drainage to ensure water will not pond against or near the building.
- 2) Grade the site within 2m of the building, away from the building, to ensure that no water ponds near the building. 3) Maintain sewage and stormwater systems to ensure no leakages occur. If they occur, repair them promptly.
- 4) Trees and shrubs should not be planted or allowed to exist, closer than 0.75 times their mature height. Avoid establishing garden beds next to the building. Gardens and lawns should be watered adequately but not excessively. Uniform consistent watering can be important to prevent damage to the foundations during dry spells or droughts.



BUILDERS NOTES

Building Code of Australia

The Builder shall ensure the building complies with the following Regulations and Standards

AS3660 Termite Code AS 1582 Roofing AS1288 Glazing Code AS 3000 Electrical AS 2870 Slabs and Footings AS 1684 Timber Framing AS 3740 Waterproofing Code AS 3500 Plumbing Code

and all other standards nominated in the NCC

Site Levels

The Builder shall ensure the building is built at a minimum of 270 mm above any adjoining ground level. The builder shall grade the soil away from the building at a rate of 50 mm for every meter for at least 2 meters to ensure any surface water will not pond against the building.

Incorporate Control Joints (or full height openings) in all masonry walls at a max. of 4.5m cts. Locate additional joints in masonry directly over junctions in footings which are different types.

eg. at House/Garage or Existing Building/New Extension.

Termite Protection

Treat building for termites as per A.S. 3660.1. Use termite resistant T2 framing (walls, trusses & all primary building elements) throughout proposed works. Install Kordon termite collars around all plumbing

Timber Exposed to Weather

penetrations thru slab.

All timber exposed to weather, but not in ground, shall be to H3

All timber in ground to be H 5 Classification

Glazing -Bathrooms and En-Suites

All windows within 2000mm of the floor shall have Safety glazing as per AS1288.

Floor Tiles

Minor movement shall inevitably occur in most floors. In order to minimise any damage to floor tiles as a result of floor cracking/movement a flexible adhesive shall be used

Doors sizes shall be as per floor plan unless noted otherwise. Bathroom, Ensuites & Toilets shall have doors sizes as per

Toilet cubicle doors shall be fitted with removable hinges. CS denotes a cavity sliding door.

Smoke Detectors

Smoke detectors are denoted (S) on the plan. These shall be installed as per AS 3788. Where more than 1 detector is installed they shall be interconnected electrically. Connect to mains electricity supply.

BUILDERS NOTES Cont'd

Piping trenches running parallel with the Building should be located at an offset from the footing equal to the

Stair Details- If Required

Riser Height - Min. 115mm, Max. 190mm Tread Going - Min. 250mm, Max. 355mm Minimum Vertical Clearance - 2000mm Install 1 no H/rail 900 above nosing for dwellings Install 2 No. H/rails 900 above nosings for Commercial Buildings

Balustrades

(applicable for landings, Balconys & Verandahs 1000mm Min. above ground level).

865mm Min. above stair tread nosings. 1000mm Min. above Finished Floor Level.

Openings

Constructed so a 125mm sphere cannot pass through.



Certificate Number Assessor Name: 92 Ross Street



S03TNE2MQV

NOTE FOR FNGINFERS

The Engineer engaged to carry out the design of the slabs and footings shall design the system in accordance with AS 2870, NCC, the Soil Test and all other site conditions such as cut/fill which may exist on the site.

The Engineer shall take into consideration trees and underground pipes which exist or may exist in the future. The Engineer shall collect information on all the piping systems, sewer mains, plumbers sewer drainage pipes, stormwater pipes etc, slab heating (Electric or hydronic if applicable) and design his slab/footings accordingly. The Engineer shall ligise directly with the Sewer Authority. plumber, client and builder to obtain the above information.

The Engineer engaged to carry out the design of the slabs/subfloor shall take full responsibility for the above. Bruce Mactier Building Designers does not accept any responsibility for the Engineers work.

Design Work by Engineer

- Soil Test
- Footing Design
- Lintel supporting roof load over kitchen/meals
- Columns to support lintel
- Other Items needing Engineering Design

This Site - Some of the issues

Engineer to note - Sewer mains and plumbers sewer drainage pipes near footings

- Isolated patches of fill

Bracing Plan

Bracing Plan by Engineer if required

These are only some of the issues to be considered in the footing design. This is not a complete list of issues. The Engineer shall investigate all the issues which may effect the design and ensure that the design is appropriate and structurally sound.

The Engineers shall forward a copy of Plans, Soil Tests, Computations etc. to Bruce Mactier Building Designers.

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CHECKED N/A @ A3 Sheet B. Mactier DRAWING TITLE **April 2020** General Notes DRAWN SHEET NO. A11 of 12 M. Santos DESIGNED IOB NO 20785 Client

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Building Specifications - General Refer to Builders Specification for Contract Details and Inclusions

General Clause

All work shall comply with the Building Code of Australia, State Government Regulations and any relevant local Government by-laws applying to the work. All work shall comply to the relevant standards for that particular trade.

Owner - Shall mean the owner of the building, proprietor or client. The word builder shall also mean contractor.

<u>Making Good</u> - The builder shall be responsible for any damage to adjoining roads, pavement or properties. The builder shall make good any damage at his cost.

Temporary services - The builder shall provide necessary temporary services such as electricity, water and Sanitary accommodation.

<u>Drawings</u> - The builder shall keep on site, in good order 1 No. set of plans and specifications.

<u>Materials</u> - All materials shall be new and comply with the relevant sections of the Australian Standards.

<u>Notices</u> and <u>Fees</u> - The builder shall pay for all fees and notices (except planning permit fees) for the work to be done.

<u>Clean Up</u> - The builder shall be responsible for cleaning up the building site of any excess soil, unused materials etc. prior to the handover.

<u>Site</u> - The owner shall be responsible for clearly identifying the site, with a licensed surveyor if necessary. The builder shall locate the house within the identified site as per plans.

Allowances - The builder shall allow in his price, the prime cost allowances nominated. Where items are 'Supply only' the builder shall allow in the contract sum for the labour cost to install the components. Should the expenditure exceed the allowance the owner shall pay the builder the extra amount plus 10% of the extra amount. Should the expenditure be less than the allowance, the builder shall credit the owner the difference.

Excavator

The owner at his expense, shall clear the site of any obstructions, likely to interfere with the building works, prior to the commencement of the building.

Excavation - The builder shall excavate for footings etc. as per the Engineer's plans, soil report and Architectural plans. The builder shall excavate for storm water and sewer pipes required to service the building. All excavations for pipes shall be back filled with approved material.

<u>Surplus Material</u> - The builder shall remove all surplus material from the site at his cost. The builder may leave surplus material on the site if directed by the owner.

<u>Inspections</u> - The builder shall organise appropriate inspections of the founding material below the footings by the building surveyor or engineer.

Concretor

<u>Inspections</u> - The builder shall organise appropriate inspections of the slab reinforcing, prior to pouring concrete, by the building Surveyor or Engineer.

<u>Concrete</u> - All concrete shall have minimum strength of 25Mpa at 28 Days. It shall have a maximum slump of 80mm.

<u>Reinforcement</u> - All reinforcement shall be in accordance with Australian Standards 1302, 1303, 1304 & 1480. All slab mesh shall have 25 cover to the top.

<u>Standard</u> - All work shall be carried out to ensure compliance with Australian Standard 2870 and to the Engineer's drawings.

Footings and verandah posts - See Engrs Plan

Finish - The finish shall be steel trowelled, appropriate for the final finish.

<u>Verandah and Footpaths</u> - Unless noted otherwise on the plans, use 100mm thick slabs with SL72 mesh in the top for non-filled areas. See engineers drawings for slabs overfill. Install tooled control joints at 1.2 metre cts. for the length of the slab. Fall verandahs and footpaths to create cross fall.

Garage Slab - See plans

Moisture barrier - All slabs shall be protected from moisture penetration from below with a 0.2mm plastic vapour barrier. Lap and tape all vapour barriers. Tape barrier around plumbing penetrations to eliminate any chance of moisture penetration.

Masonary

<u>Set out</u> - All masonry shall be set out with a gauge rod to ensure every course is horizontal. The masonry shall be laid with a stretcher bond. All perpends in every 2nd course will line up vertically.

<u>Standard</u> - All masonry shall comply with Australian Standard 3700. <u>Sills</u> - All sills will be brick on edge, set at 30° to the horizontal and shall overhang the wall by 20mm.

Mortar - The colour and type of the mortar shall be nominated by the owner.

<u>Lintels</u> - All steel Lintels supporting Masonry shall be galvanised in accordance with Australian Standard 3700. Lintels shall have an end bearing of 200 min.

Door sills - All door sills shall be brick on edge.

<u>Damp proof courses</u> - All Masonry shall have an approved damp proof course to prevent the movement of damp vertically up brickwork. The builder may use an approved chemical damp proof course mixed and used as per the manufacturer's recommendations or embossed opaque polythene film a minimum of 0.25mm thick.

Wall ties - All wall ties shall be installed as per Australian Standards AS 2699- See plans.

<u>Cleaning</u> - Point up all flashings, pipe penetrations etc. Clean brickwork with spirits of salts diluted to a maximum of 1 in 10. Wash down Masonry with water after cleaning.

Carpentry

All timber used shall comply with the Australian Standards 1684 and 1720. Frames - See plans for stud and plate sizes. Install studs at all jambs as per Australian Standard 1684. Secure bottom plate to slab with concrete nails at 600 cts. All walls shall be erected plumb, square and true in line. All studs shall be straightened, if required prior to lining. See Australian Standard 1684 for sheet bracing or metal angle wall braces.

<u>Shower recess</u> - Check wall to suit shower base nominated on plans. <u>Bath</u> - Check wall to suit bath. Make water tight.

Eave and verandah lining - Where shown on the drawings install 4.5mm cement sheet lining, joined with P.V.C. cover straps. Fix sheets to 90 x 35 MGP10 pine at 450 cts. or as per plans. All tiled roofs to have lined verandahs. All eaves are to be lined.

Roof trusses - Supply and install prefabricated roof trusses as per the manufacturers design. Supply and install tie downs, girder truss, connector plates strictly as per the manufacturers specifications.

Architraves and skirtings - To be selected by owner. Supply and install a skirting board at all floor/wall junctions. Supply and install an architrave around every door and window. Neatly mitre architrave's at corners. Door frames - Supply and install one ex 150 x 38 H.W. or meranti solid door frame around the perimeter of every external door. Door stops to be 50 x 10 (nominal). Internally supply and install a 110×25 H.W. door frame with a 30×10 door stop. Secure frames to study. Fix frames level and true.

<u>Cavity doors</u> - Supply and install B & D cavity door units where nominated on plan.

Robes - Supply and install built in robes where shown on plan. Install 1 No. Melamine shelf 1600 from floor and 1 No. chrome hanging rail suspended from shelf for each robe. At one side of robe supply and install 500 wide adjustable shelving. Supply and install Melamine shelves normally spaced at 450 cts. Line the inside of robes with plasterboard as per remainder of house. Paint inside of cupboards. Fix door jambs to perimeter of door openings to robes together with architraves mitred at corners. Timber Exposed to Weather

All timber exposed to weather, but not in ground, shall be to H3 classification.

All timber in ground to be H 5 Classification

REGISTRATION NUMBERS

VIC CDP-AD56576

<u>Linen press</u> - Supply and install a linen press where shown on plans. Install melamine shelves at 450 cts. (nominal).

Broom cupboard - Supply and install a broom cupboard with 1 No. Melamine shelf 1600 from floor.

<u>Joiner</u> - Supply and install kitchen cupboards and other joinery where shown on plan. Finishes as per plans. Install a 50 deep x 100 high kick recess at base. Joinery to be manufactured by an approved cabinet maker. Install a bulkhead over overhead cupboard. See plans for number of drawers. In top cutlery drawer install a plastic cutlery tray. All cupboard doors to have concealed adjustable hinges.

Vanity Units - Unless noted otherwise on plans, all vanity units to be

Roofing

fabricated by a joiner.

The builder shall supply and install roofing as per plans in accordance with the relevant Australian Standard. Where sheet roofing is nominated on the plans, the roofing shall be installed strictly as per the manufacturers recommendations. All sheet roofing to be Custom Orb unless noted otherwise, in one length.

 $\underline{\text{Water Tight}}$ - It is the responsibility of the builder to ensure the building is completely water tight.

<u>Gutters</u> - Supply and install gutters as per plan. Fall gutters 1:400 to downpipes. All gutter joins to be sealed. Install downpipes to pops from gutters. Attached gutters to walls at 900 cts. with straps fixed to walls. All flashings shall be either lead flashings or 0.6mm metal.

Plumbin

All plumbing to be carried out by a licensed plumber in accordance with AS 3500 & the relevant plumbing regulations.

Water Supply - The water supply shall be extended from the front of the site to the house. If a tapping is required from the mains it shall be done at the owners expense. The builder shall assume the point of supply for water is within 15m from the house. If it is greater than 15m the owner shall bear the additional cost. For houses without access to a water main the builder shall allow for the 15m of line as above. The costs of pumps and tanks etc. unless noted otherwise, shall be borne by the owner. Install a stop cock to enable the water supply to the house to be controlled. Garden Taps - The builder shall allow for 4 No. garden taps for the house, which will be attached to the house unless noted otherwise, 2 No. tap will be at the front and 2 No. will be positioned at the rear of the house. The owner shall approve of the exact positions prior to installation. Hot Water Service - If electric hot water services is installed, the builder shall install a 315 Litre Rheem or approved similar. Where a gas hot water service is installed, the builder shall install a 250 Litre Rheem unit or similar approved. Where a solar hot water service is installed, the builder shall install a Rheem Lo-line solar ags boosted unit or approved similar. Install a HWS strictly as per manufactures recommendations. All hot water services shall be mains pressure units.

Taps - To be nominated by owner.

Sanitary Plumbing - All sewerage work shall be carried out by a registered plumber approved by the local authority with control over the work. Any fees and charges associated with the work shall be paid for by the builder. In areas which are not sewered, install a septic system to the approval of the local authority which has control over the work. See Inclusions Sheet

<u>Drainage</u> - The plumber shall install stormwater pipes to connect to all the downpipes and discharge point approved by the local authority having control over drainage matters. All pipes shall be 90 diam. PVC falling 1 in 400 min. to the point of discharge. Provide a min. of 200 cover at high end. Seal all pipes with appropriate glue.

Sloping Sites - On all sites on which the land falls to the building, the builder shall install agricultural pipes embedded in 12 mm crushed rock, & earth surface drains which ensure surface water & sub-surface water will not pond against or near the building.

Gas Piping - All gas pipes and fittings shall be installed as per the Authorities regulations, with control over the works requirements. The work shall be carried out by a registered gas fitter. The builder shall extend the gas line from the appliances nominated as gas appliances (See Inclusions Sheet), to the source of supply. All gas pipes shall be appropriately sized to suit the requirements of the appliances being served, and the requirements of the gas regulations.

Electrical

All work shall be carried out by a registered electrician in accordance AS 3000 & with the authority with jurisdiction over the work. The electrician shall give appropriate notices, pay fees and obtain any required inspections of the work, prior to handover of the building.

Meters - The builder shall co-ordinate with the supply authority to ensure that a waterproof cabinet, by builder, is installed at an appropriate location for the installation of the meters.

<u>Wiring</u> -Wire to all light fittings, power outlets and appliances requiring direct connections. Provide and install switchboard. All wiring shall be concealed. <u>Consumer Mains</u> - Supply and install a mains, from the point of supply from the electricity supplier to the building. At the tender stage the builder shall determine the type of mains allowed-either underground or overhead and allow this in his tender price.

Light Control Points - Locate light switches 1000 from floor.

GPO's - Locate GPO's 300 from floor or 150 from the bench tops.

<u>TV Outlets</u> - Install TV points as per plan and extend line into ceiling space with 7m of spare line provided for connection to aerial. Aerial is not in contract. Door Chime - Install a mains powered door chime to the front door.

lasterer

<u>Plaster</u> - Supply and install flush set plasterboard to all walls and ceilings throughout the entire building unless noted otherwise on the plans. To the wet areas use water resistant plasterboard. At all corners install a metal backing angle. See plans for plaster thickness. All plasterboard shall be installed strictly in accordance with the manufacturers recommendations.

Cornices - To be selected by owner.

liling

Extent - Extent of wall tiling to be confirmed by owner. See Plans for extent of floor tiles.

150 min high skirting tiling to wet ares. See plan for extent of floor tiles Adhesives - The builder shall use adhesives in accordance with the manufacturer's recommendations. Use flexible adhesives for floor tiles.

Tiles - To be selected by client. Grout colours to be nominated by owner.

Extent - Paint all fascias, downpipes, verandah posts, eaves lining, doors, plasterboard, skirting, architraves and any other surfaces which are not pre-finished.

<u>Standard</u> - The builder shall apply a min. of 2 No. coats to ensure that no blemishes or streaks occur. The builder shall apply additional coats if required. All work shall be carried out in accordance with the paint manufacturer's recommendations for preparation and application of the paints.

<u>Colours</u> - To be nominated by client.

Paint Type - External

Timber & metal 2 coats of gloss acrylic Downpipes 2 coats of gloss acrylic Eaves 2 coats of matt acrylic

Paint Type - Internal

Doors 2 coats of high gloss enamel
Skirting & Arch. 2 coats of high gloss enamel
Walls 2 coats of Wash N Wear acrylic
Ceiling 2 coats of matt acrylic

<u>Clean U</u>

The builder shall remove from the site any unused building materials, rubbish etc. The builder shall level the site of any surplus soil etc. The builder shall clean the windows & house generally, ready for occupation.

| GENERAL |
|-------------------------------|
| All dimensions, site and soil |
| conditions to be verified or |
| site, by builder, prior to |
| ordering or placing any |
| materials. |
| |

All work shall conform to the National Construction Code of Australia. Do Not scale drawings. This drawing is Copyright. These plans form part of,

Contract No.

Dated.

Proprietor

Contractor

PROJECT No. 92 Ross St, Armidale, NSW 2350

Rossbuild Constructions

Version 5 - 25/05/2020 Drawing Status

Issue Date

For Construction

| CHECKED B. Mactier | SCALE N/A @ A3 Sheet |
|---------------------|---------------------------------|
| April 2020 | DRAWING TITLE Specifications |
| DRAWN | SHEET NO. |
| M. Santos | A12 of 12 |
| DESIGNED | JOB NO. |
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